

Planning Commission

Dave McCullough, District 1
Heath Krug, District 2
John Troughton, Jr., District 3,
Vice-Chair
Kirk Pendleton, District 4, Chair
Elizabeth Yerxa, District 5



Community Development Department

Greg Plucker,
Secretary to the Planning Commission
220 12th Street, Colusa, CA 95932
Phone: (530)458-0480
Fax: (530)458-0482
colusacountyca.igam2.com
www.countyofcolusa.org

COLUSA COUNTY Planning Commission Agenda July 6, 2022

**Board Chambers
546 Jay Street, Suite 108
Colusa, CA 95932**

Welcome to a meeting of the Colusa County Planning Commission. If you are scheduled to address the Commission, please state your full name for the record. Regularly numbered items may be considered at any time during the meeting. All items are listed in accordance with the Ralph M. Brown Act. We invite all members of the public to attend.

9:00 a.m. CALL TO ORDER

- Pledge of Allegiance

I. APPROVAL OF MINUTES

1. Minutes Approval
Planning Commission – Regular Meetings – June 1, 2022.

II. PUBLIC COMMENT

III. PUBLIC HEARINGS

1. COMMUNITY DEVELOPMENT DEPARTMENT/DENNIS PERRY
Public Hearing and adoption of a Resolution approving a Categorical Exemption and a Use Permit (PD-22-16) to allow expansion of an existing legal, non-conforming residential use.
2. COMMUNITY DEVELOPMENT DEPARTMENT/DIANE AND GARY EVANS
Public Hearing and adoption of a Resolution approving Statutory Exemptions and approving Tentative Parcel Map #PD-22-15 for Diane and Gary Evans.

IV. PLANNING DIRECTOR COMMENTS/REPORTS

V. PLANNING COMMISSIONER'S COMMENTS/REPORTS

ADJOURN

PERIOD OF PUBLIC COMMENT: Any person may speak about any subject of concern, provided it is within the purview of the Planning Commission and is not already on today's agenda. The total amount of time allotted for receiving such public communication shall be limited to a total of **15 minutes per issue** and each individual or group will be limited to no more than **5 minutes each**. **Note:** No Commission action shall be taken on comments received.

ADA COMPLIANCE: Upon request, Agendas will be made available in alternative formats to accommodate persons with disabilities. In addition, any person with a disability who requires a modification or accommodation to participate or attend this meeting may request necessary accommodation. Please make your request to the County Board Clerk, specifying your disability, the format in which you would like to receive this Agenda, and any other accommodation required no later than 24 hours prior to the start of the meeting.

Anyone wishing to appeal a decision of the Planning Commission may do so within 10 calendar days after the decision. Anyone wishing to appeal a decision must submit a letter of appeal and pay the required fee of \$750.00 to the Clerk of the Board of Supervisors at 547 Market Street, Ste. 102, Colusa, CA, 95932

All supporting documentation is available for public inspection and review in the Office of the Board Clerk, 547 Market Street, Suite 102, Colusa, CA 95932 during regular business hours 8:30 a.m. to 5:00 p.m., Monday through Friday.

Planning Commission

Dave McCullough, District 1
 Barry Morrell, District 2, Chair
 John Troughton, Jr., District 3
 Kirk Pendleton, District 4,
 Vice-Chair
 Gail Beduhn, District 5

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COLUSA COUNTY
Planning Commission
Minutes
 June 1, 2022

Board Chambers
546 Jay Street, Suite 108
Colusa, CA 95932

The Colusa County Planning Commission meets in Regular Session this 1st day of June 2022 at the hour of 9:00 a.m. Present: Commissioners Elizabeth Yerxa, Dave McCullough, John Troughton, Jr. and Kirk Pendleton. Absent: Commissioner Heath Krug.

Pledge of Allegiance

I. APPROVAL OF MINUTES

1. Minutes Approval
 Planning Commission – Regular Meetings – April 6, 2022.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Troughton, Jr.
SECONDER:	Yerxa
AYES:	Yerxa, McCullough, Troughton, Jr., Pendleton
ABSENT:	Krug

II. PUBLIC HEARING

Chair Pendleton makes time for a Public Hearing and adoption of a Resolution which would approve an approximate 10 foot variance to the 55 foot height limit and an approximate 146 square foot variance to the 100 square foot sign face limitation.

Comments received by Mr. Plucker.

9:10 a.m. Chair Pendleton opens the Public Hearing and calls for public comment.

Mr. Randall states he lives very close to the proposed project and has concerns regarding excessive ambient lighting resulting from the gas station signage.

Minutes Acceptance: Minutes of Jun 1, 2022 9:00 AM (APPROVAL OF MINUTES)

9:13 a.m. Chair Pendleton calls for further public comment. Hearing none, Chair Pendleton closes the Public Hearing.

COMMUNITY DEVELOPMENT DEPARTMENT/UNITED SIGN SYSTEMS

Adopt **Resolution No. 22-005** approving an approximate 10 foot variance to the 55 foot height limit and an approximate 146 square foot variance to the 100 square foot sign face limitation with conditions that the illumination shall be kept at the lowest intensity necessary for visibility as determined by the Community Development Director.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	McCullough
SECONDER:	Yerxa
AYES:	Yerxa, McCullough, Troughton, Jr., Pendleton
ABSENT:	Krug

III. PLANNING DIRECTOR COMMENTS/REPORTS

Mr. Plucker provides an update on the Renewable Carbon Project and the Janus Solar Project, ensuring that all Commissioners will receive the project information and staff reports.

IV. PLANNING COMMISSIONER'S COMMENTS/REPORTS

None.

Chair Pendleton adjourned the meeting at 9:24 a.m. to reconvene in Regular Session on July 6, 2022 at the hour of 9:00 a.m.

Respectfully submitted,
Greg Plucker, Secretary to the
Planning Commission

Kirk Pendleton, Chair

By: _____
Melissa Kitts, Deputy Clerk



Planning Commission

546 Jay Street, Suite 108
Colusa, CA 95932

Meeting: 07/06/22 09:00 AM
Department: Community Development Department
Category: Public Hearing
Prepared By: Kent Johanns
Initiator: Kent Johanns

Sponsors:

SCHEDULED

PLANNING COMMISSION (ID # 8415)

DOC ID: 8415

Detail

Applicant: Dennis Perry
General Plan: Commercial (C)

File: PD-22-16
Zoning: Community Commercial (C-2)

Formal Title / Summary

Resolution Adopting a CEQA Exemption and Approving a Use Permit for Dennis Perry

Action Requested

Public Hearing and adoption of a Resolution approving a Categorical Exemption and a Use Permit (PD-22-16) to allow expansion of an existing legal, non-conforming residential use.

DETAILED DESCRIPTION/BACKGROUND OF REQUEST

The project applicant has requested approval of a Use Permit (PD-22-16) to allow the expansion of an existing legal, non-conforming residential use with placement of a 600 square foot metal storage building/garage.

APNs:

013-013-003 & 013-013-008

LOCATION

The project site is located at 343 North San Francisco Street in the Community of Maxwell.

PROJECT AND SITE DESCRIPTION:

The project consists of the approval of a Use Permit to allow expansion of an existing legal, non-conforming residential use in a commercial zone. The expansion consists of the construction of a 600 square foot (20 feet by 30 feet) metal storage/garage building for personal, residential use to store personal items, such as ATVs, indoors for protection from the weather and security. Because the site is zoned commercial, this is considered an expansion of an existing legal, non-conforming residential use.

The project site consists of two APNs totaling 0.32± acres. The existing home is located on APN 013-013-003 and is 1,700 square feet in size. The proposed metal storage building will be located on APN 013-013-008, which has an existing small storage structure located in the rear of the parcel. An additional small storage building on the

project site was recently removed in preparation of the proposed building.

General Plan and Zoning

The project site has a General Plan Designation of Commercial (C) and is zoned Community Commercial (C-2). The C-2 zone does not allow for residential uses; however, similar structures such as the proposed storage/garage building for variety of commercial uses are allowed as permitted uses and do not require a use permit. The existing home has been located on the project site since 1994 prior to the Zoning Code update of 2014. Therefore, the existing residential use is considered a legal, non-conforming use.

Section 44-1.120.050 of the Zoning Code allows for the expansion of non-conforming uses with approval of a Use Permit by the Planning Commission. The use permit process allows the County to condition a project to ensure compatibility with surrounding land use and address any issues that may be identified. Staff did not identify any issues with the expansion of the residential use that required any special conditions other than the project site is flood zone and the application of the residential setbacks.

Issues and Concerns

As mentioned above the project is site is located in a FEMA flood zone, Zone AH, and requires a Flood Zone Development Permit during the building permit process. Staff has made the applicant aware of this issue and he is addressing the issue with the Department of Public Works.

The second area of concern is the application of the residential setbacks. Since the property is being used as a residential property staff considers the storage/garage building an accessory use to the residence. The residential accessory building setbacks are 20 feet for the front and rear yards, and 3-foot side yard setback (since the structure is located on the back half of the lot). As shown on the Site Plan of Exhibit "A", the proposed structure meets the minimum 3-foot side yard setback, the front and rear yard setbacks are much greater (40 and 35 feet), and the structure would be located 10 feet from the existing home.

Surrounding Land Use and Compatibility

The project site is bordered by a commercial use to the east, and residential uses to the north, west, and south. Staff believes that the proposed expansion of the residential use is compatible with surrounding land uses.

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA):

The project consists of approving a use permit to allow expansion of a legal, non-conforming residential use, on a parcel previously developed for residential use. As

such, the Use Permit is Categorically Exempt from CEQA pursuant to Section 15303(c) New Construction or Conversion of Small Structures because the construction is less than 2,500 square feet, in an urbanized area, and is appropriately zoned with approval of the use permit.

SUMMARY

Staff believes that the proposed project will not negatively impact the community as conditioned. No significant impacts to the environment are anticipated. Based upon the totality of the record, staff is recommending the Planning Commission approve Use Permit (PD-22-16) by adopting the attached resolution.

RESOLUTION NO. 22-____

RESOLUTION OF THE COLUSA COUNTY PLANNING COMMISSION ADOPTING A CATEGORICAL EXEMPTION AND APPROVING USE PERMIT (PD-22-16) FOR DENNIS PERRY

WHEREAS, Dennis Perry has applied for a Use Permit for the project described in Exhibit “A”;

WHEREAS, the County of Colusa is considered a Lead Agency under the California Environmental Quality Act (CEQA) for this proposed project and it has determined that a Categorical Exemption is appropriate pursuant to CEQA for the proposed Use Permit;

WHEREAS, a Notice of Public Hearing for consideration of the proposed Use Permit was published in accordance with all applicable requirements; and

WHEREAS, the Planning Commission held a Public Hearing regarding the proposed CEQA Exemption and Use Permit on July 6, 2022.

NOW, THEREFORE, BE IT RESOLVED that the Colusa County Planning Commission based on facts in the Staff Report, and the written and oral testimony, and exhibits presented at the public hearing, takes the following action:

- I. Adopts a Categorical Exemption, specifically the project is considered exempt from CEQA under pursuant to Section 15301(c) Existing Facilities.
 - A. Find that the proposed Categorical Exemption is adequate and reflects the independent judgment and analysis of the County, which is the lead agency.
- II. Approves the Use Permit subject to the conditions of approval as attached in Exhibit “B”, for the project described in Exhibit “A” and makes the following findings:
 - A. The proposed project will not impair the integrity and character of the zone in which the land lies, and that the use would not be injurious or detrimental to the health, safety and general welfare of the persons residing or working in the neighborhood, or to the general health, welfare and safety of the County.
 1. The project would not be incompatible with surrounding land uses with the incorporation of conditions identified in Agenda Report.
 2. The project is in a zoning classification conditionally, suitable for the proposed use.
 3. The configuration of the parcels and improvement of the property will not conflict with easements, access through or use of the property.

4. Approval of this project will not be detrimental to the public health, safety and welfare with compliance of the required conditions.
- B. The project is consistent with the Colusa County General Plan Land Use Element goals and policies for the Commercial (C) land use designation.
- C. The project is consistent with the Colusa County Zoning Ordinance Community Commercial (C-2) zoning designation.
- D. The project is consistent with the Colusa County Zoning Ordinance Section 44-1.120.050 Change or Expansion of Nonconforming Use with approval of PD-22-16.

PASSED AND ADOPTED this 6th day of July, 2022 by the following vote:

AYES:

NOES:

ABSENT:

Kirk Pendleton, Planning Commission Chair

ATTEST: Greg Plucker, Secretary to the
Colusa County Planning Commission

Melissa Kitts, Deputy Board Clerk

APPROVED AS TO FORM

Jennifer Sutton, Sr. Deputy County Counsel

EXHIBIT "A"
DENNIS PERRY USE PERMIT (PD-22-16)
COLUSA COUNTY PLANNING COMMISSION
JULY 6, 2022

PROPOSED BUILDING PLANS

Dennis Perry Project Site



Project Description: The project consists of approval of Use Permit PD-22-16 to allow the expansion of a legal non-conforming use at the Perry residence located at 343 North San Francisco Street. The expansion consists of the placement of 600 square foot metal storage/garage building.

Attachment: Exhibit "A" Use Permit #PD-22-16 Application (8415 : Dennis Perry Use Permit PD-22-16)

EXHIBIT "A"
DENNIS PERRY USE PERMIT (PD-22-16)
COLUSA COUNTY PLANNING COMMISSION
JULY 6, 2022

PROPOSED BUILDING PLANS

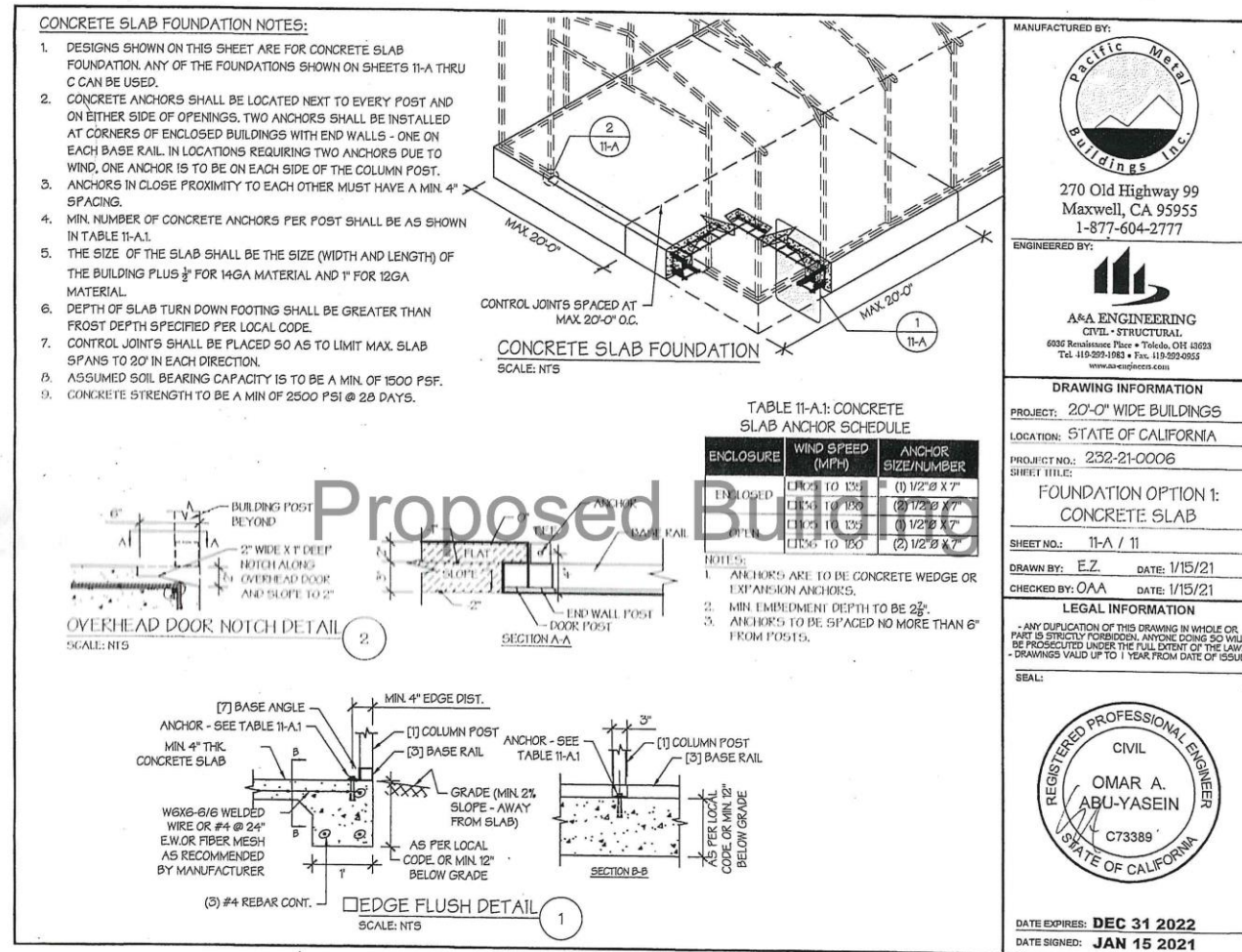
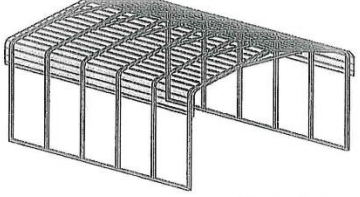
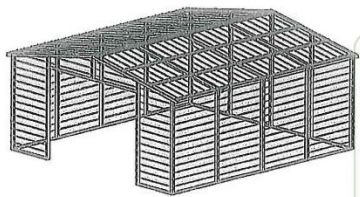


EXHIBIT "A"
DENNIS PERRY USE PERMIT (PD-22-16)
COLUSA COUNTY PLANNING COMMISSION
JULY 6, 2022
EXAMPLE BUILDING PLANS

APPROVED
 By Tracy Bybee at 7:41 am, Feb 04, 2022

**REGULAR / A-FRAME
30'-0" WIDE
CARPORT STYLE BUILDINGS**

DESIGN NOTES

1. ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH IBC 2018, OSHA, AISI 360, AISI 100, ASCE 7-16, AWS D 1.3 CODES AND ALL APPLICABLE LOCAL REQUIREMENTS.
2. BASE CONNECTIONS SHALL BE PROVIDED AS SHOWN ON FOUNDATION DETAILS SHEET.
3. ALL MATERIALS IDENTIFIED BY MANUFACTURER NAME MAY BE SUBSTITUTED WITH MATERIAL EQUAL OR EXCEEDING ORIGINAL.
4. ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS.
5. ALL FIELD CONNECTIONS SHALL BE #12X1" SD5 (ESR-2196 OR EQ).
6. STEEL SHEATHING SHALL BE 29GA, CORRUGATED GALV. OR PAINTED STEEL - MAIN RIB HT. 3/4" (FY=80KSI) OR EQ.
7. ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE GRADE 50 STEEL.
8. STRUCTURAL TUBE T92 1/2X2 1/2" - 14GA. IS EQUIVALENT TO T92 1/4X2 1/4" - 12GA AND EITHER ONE MAY BE USED IN LIEU OF THE OTHER.
9. ALL DESIGN CRITERIA MUST BE INCREASED TO THE NEXT HIGHER INCREMENT BASED ON THE TABLES ON PAGE 4. NO INTERPOLATION IS ALLOWED.

DESIGN CRITERIA

PREVAILING CODE: CBC 2019 (IBC 2018)
 USE GROUP: U (CARPORTS, BARNS)
 RISK CATEGORY: I

1. DEAD LOAD (D) D = 4 PSF
 ROOF LIVE SNOW LOAD (L_S) L_S = 20 - 80 PSF (AS PER SNOW LOAD SEE TABLE 4)

2. SNOW LOAD (S) S = 20 - 80 PSF
 GROUND SNOW LOAD P_G = 0.6
 IMPORTANCE FACTOR I_s = 1.2
 THERMAL FACTOR C_t = 1.0
 EXPOSURE FACTOR C_e = 1.0
 ROOF SLOPE FACTOR C_s = 1.0

3. WIND LOAD (W) BASIC WIND SPEED V_{WT} = 105 - 150 MPH
 EXPOSURE C
 SEISMIC LOAD (E) D
 DESIGN CATEGORY I_s = 1.00

LOAD COMBINATIONS:

1. D + (L_r OR S)
2. D + (0.6W OR ±0.7E)
3. D + 0.75 (0.6W OR ±0.7E) + 0.75 (L_r OR S)
4. 0.6D + (0.6W OR ±0.7E)

DRAWING INDEX

COVER SHEET
 SCHEDULES & MEMBER - SECTIONS
 FRAME SECTIONS & DETAILS
 BRACING SCHEDULES - & ENCLOSURE NOTES
 PURLINE & GIRTS SCHEDULES
 SHEATHING OPTIONS
 SIDE WALL FRAMING & OPENINGS
 END WALL FRAMING & OPENINGS
 CORNER BRACING DETAILS
 OPTIONAL LEAN-TO ADDITION
 FOUNDATION OPTIONS

CUSTOMER INFORMATION

OWNER: Ron Lorenzo
 ADDRESS: 39a Commercial St Princeton, CA

DESIGN LOADS

GROUND SNOW: 30
 ROOF LIVE LOAD: 20
 BASIC WIND SPEED: 90

BUILDING INFORMATION

WIDTH: 30
 LENGTH: 40
 HEIGHT: 11

FRAME TYPE: ☒ A-FRAME
☐ REGULAR
☐ FULL
☐ PARTIAL
☐ OPEN

CERTIFICATION VALIDITY NOTICE

CERTIFICATION ON THESE DRAWINGS IS VALID FOR ONE YEAR FROM DATE OF ISSUE

MANUFACTURED BY:



457 N. Broadway,
 Joshua, TX 76058
 1-866-730-9865

ENGINEERED BY:



A&A ENGINEERING
 CIVIL • STRUCTURAL
 0003 Renaissance Place, Toledo, OH 43623
 Tel. 419-293-1583 • Fax. 419-293-0955
 WWW.A-AND-A-ENGINEERS.COM

DRAWING INFORMATION

PROJECT: 30'-0" WIDE BUILDINGS
 LOCATION: STATE OF CALIFORNIA
 PROJECT NO.: 233-21-0026
 SHEET TITLE: COVER SHEET

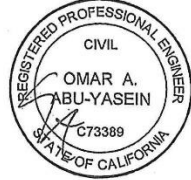
SHEET NO.: 1 / 11

DRAWN BY: A.W. DATE: 1/16/21
 CHECKED BY: OAA DATE: 1/16/21

LEGAL INFORMATION

- ANY DUPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY FORBIDDEN. ANYONE DOING SO WILL BE PROSECUTED UNDER THE FULL EXTENT OF THE LAW.
 - DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

SEAL:



STAMP EXPIRY: DEC 31 2022
 DATE SIGNED: JAN 31 2021

EXHIBIT "A"
DENNIS PERRY USE PERMIT (PD-22-16)
COLUSA COUNTY PLANNING COMMISSION
JULY 6, 2022

EXAMPLE BUILDING PLANS

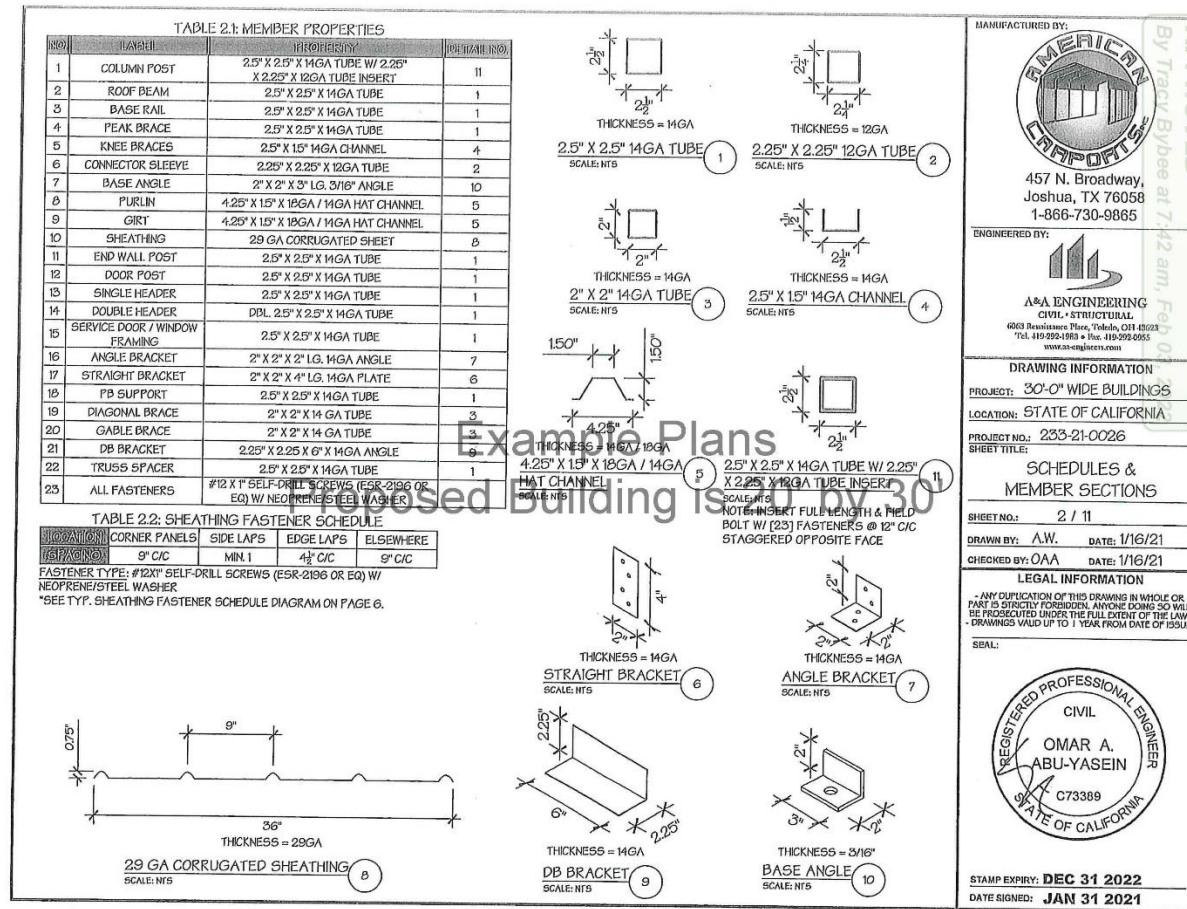


EXHIBIT "A"
DENNIS PERRY USE PERMIT (PD-22-16)
COLUSA COUNTY PLANNING COMMISSION
JULY 6, 2022

EXAMPLE BUILDING PLANS

TABLE 4: FRAME SPACING CHART / SCHEDULE

GROUND SNOW / ROOF LIVE LOAD (PSF)	ENCLOSED BUILDINGS								OPEN BUILDINGS							
	WIND SPEED (MPH)								WIND SPEED (MPH)							
	105	115	130	140	155	165	180	105	115	130	140	155	165	180		
30/20	60	60	54/60	54	48	42/48	36/42	54	48/54	42/48	42	36/42	36	30		
40/27	48/60	48/60	42/60	42/54	48	42/48	36/42	48	48	42/48	42	36/42	36	30		
50/34	40/48	40/48	40/48	40/48	40/48	40/48	36/42	40/42	40/42	40/42	40/42	36	36	30		
60/41	36/42	36/42	36	36	36	36	36	36	36	30	30	30	30	24		
70/47	32/36	32/36	32/36	32/36	30	30	30	30	30	30	24	24	24	24		
80/54	24	24	24	24	24	24	24	24	24	24	24	24	24	---		
90/61	18	18	18	18	---	---	---	18	18	---	---	---	---	---		
30/20	60	60	54/60	54	48	42/48	36/42	54	48/54	42/48	42/48	36/42	36/42	30/36		
40/27	48/60	48/60	42/60	42/54	48	42/48	36/42	48	48	42/48	42/48	36/42	36/42	30/36		
50/34	40/54	40/54	40/54	40/48	40/48	40/48	36/42	40/42	40/42	40/42	40/42	36	36	30/36		
60/41	36/48	36/42	36/42	36/42	36/42	36/42	36/42	36	36	36	36	36	36	30/36		
70/47	32/36	32/36	32/36	32/36	32/36	30	30	30	30	30	30	30	30	24		
80/54	30	30	30	30	30	30	30	24	24	24	24	24	24	24		
90/61	24	24	24	24	24	24	24	18	18	18	18	18	18	18		
30/20	60	60	54/60	54	48	42/48	36/42	54	48/54	42/48	42/48	36/48	36/48	30/36		
40/27	48/60	48/60	42/60	42/54	48	42/48	36/42	48	48	42/48	42/48	36/48	36/48	30/36		
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60/41	36/48	36/48	36/48	36/48	36/42	36/42	36/42	36	36	36	36	36	36	30/36		
70/47	32/42	32/36	32/36	32/36	32/36	30	30	30	30	30	30	30	30	24		
80/54	30/36	30/36	30/36	30/36	30/36	30	30	30	30	30	30	30	24	24		
90/61	30/36	30/36	30	30	30	30	30	24	24	24	24	---	---	---		

NOTES:

- FRAME SPACINGS ARE IN UNITS OF INCHES (IN).
- WHERE TWO VALUES ARE SHOWN, THE HIGHER VALUE CAN ONLY BE USED FOR VERTICAL SHEATHING.
- SNOW LOADS AND ROOF LIVE LOADS ARE IN POUNDS PER SQUARE FOOT (PSF). WIND SPEED IS 3 SEC. GUST IN MILES PER HOUR (MPH).
- FOR VALUES THAT LIE BETWEEN TWO CELLS, THE HIGHER (MORE STRINGENT) VALUE HAS TO BE USED. INTERPOLATION BETWEEN CELLS IS NOT ALLOWED.

ENCLOSURE CLASSIFICATION:

- ENCLOSED BUILDING = ALL 4 WALLS FULLY ENCLOSED WITH DOORS/WINDOWS = USE ENCLOSED BUILDING SPACING CHART.
- OPEN BUILDING = ALL 4 WALLS FULLY OPEN = USE OPEN BUILDING SPACING CHART.
- 3FT PARTIALLY ENCLOSED = BOTH END-WALLS FULLY OPEN, WITH BOTH SIDE-WALLS ONLY 3FT ENCLOSED = USE OPEN BUILDING SPACING CHART.
- PARTIALLY ENCLOSED = BOTH END-WALLS FULLY OPEN, WITH BOTH SIDE-WALLS ENCLOSED MORE THAN 3FT = START WITH OPEN BUILDING SPACING CHART AND THEN REDUCE SPACING BY 6".
- 3 SIDED ENCLOSED = ALL WALLS ARE ENCLOSED EXCEPT FOR 1 END-WALL = START WITH ENCLOSED BUILDING SPACING + THE OPEN END FRAME MUST HAVE EITHER A GABLED END OR HAVE DOUBLED WELDED LEGS & ROOF.
- FOR ALL SHEATHING ENCLOSURES NOT LISTED ABOVE, REFER TO SHEET 5 FOR SPACING AND DESIGN REQUIREMENTS.

GENERAL NOTES:

- THE MAX. BUILDING LENGTH FOR ENCLOSED BUILDINGS IS 50'-0". THIS CAN BE INCREASED BY ADDING A DOUBLE FRAME AT THE CENTER TO BREAK THE LENGTH OF THE BUILDING.
- BUILDINGS WITH PARTIALLY ENCLOSED END WALLS NEED TO HAVE SIDE WALL BRACING TO SUPPORT THE PARTIALLY ENCLOSED END WALL. (SEE FIGURE A ON SHEET 5).

Example Plans

Proposed Building is 20' by 30'

TYP. ENCLOSED BUILDING
SCALE: NTS

TYP. OPEN BUILDING
SCALE: NTS

TYP. OPEN END WALL ON 3 SIDE ENCLOSED BUILDING
SCALE: NTS

MANUFACTURED BY:

AMERICAN CARPORTS

457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

ENGINEERED BY:

A&A ENGINEERING
CIVIL • STRUCTURAL
6963 Huntington Place, Toledo, OH 43623
Tel: 419-292-1083 • Fax: 419-292-0955
www.a-a-engineers.com

DRAWING INFORMATION

PROJECT: 30'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 233-21-0026

SHEET TITLE: SPACING SCHEDULES & ENCLOSURE NOTES

SHEET NO.: 4 / 11

DRAWN BY: A.W. DATE: 1/16/21

CHECKED BY: OAA DATE: 1/16/21

LEGAL INFORMATION

- ANY DUPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY FORBIDDEN. ANYONE DOING SO WILL BE PROSECUTED UNDER THE FULL EXTENT OF THE LAW.
- DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

SEAL:

REGISTERED PROFESSIONAL ENGINEER
CIVIL
OMAR A. ABU-YASEIN
C73389
STATE OF CALIFORNIA

STAMP EXPIRY: DEC 31 2022

DATE SIGNED: JAN 31 2021

APPROVED

By Tracy Bybee at 7:44 am, Feb 03, 2024

EXHIBIT "A"
DENNIS PERRY USE PERMIT (PD-22-16)
COLUSA COUNTY PLANNING COMMISSION
JULY 6, 2022

EXAMPLE BUILDING PLANS

TABLE 5.1: PURLIN SPACING SCHEDULE

GROUND SNOW / ROOF LIVE LOAD (PSF)	WIND SPEED (MPH)							
	MGA THAT CHANNEL PURLIN							
	105	115	130	140	155	165	180	
20/20	54	48	42	36	30	24	24	
40/27	42	42	42	36	30	24	24	
50/34	40	40	40	36	30	24	24	
60/41	36	36	36	36	30	24	24	
70/47	32	32	32	32	30	24	24	
80/54	30	30	30	30	30	24	24	
90/61	24	24	24	24	24	24	24	
30/20	54	48	42	42	36	30	30	
40/27	42	42	42	42	36	30	30	
50/34	40	40	40	40	36	30	30	
60/41	36	36	36	36	36	30	30	
70/47	32	32	32	32	32	30	30	
80/54	32	32	32	32	32	30	30	
90/61	30	30	30	30	30	30	30	
30/20	54	48	42	42	36	36	30	
40/27	42	42	42	42	36	36	30	
50/34	40	40	40	40	36	36	30	
60/41	36	36	36	36	36	36	30	
70/47	32	32	32	32	32	32	30	
80/54	32	32	32	32	32	32	30	
90/61	30	30	30	30	30	30	30	
30/20	54	48	42	42	36	36	30	
40/27	42	42	42	42	36	36	30	
50/34	40	40	40	40	36	36	30	
60/41	36	36	36	36	36	36	30	
70/47	32	32	32	32	32	32	30	
80/54	32	32	32	32	32	32	30	
90/61	30	30	30	30	30	30	30	

NOTES:
1. PURLIN SPACING UNITS ARE IN INCHES.
2. FRAME SPACING NEEDS TO BE DETERMINED FROM TABLE 4.

IRREGULAR BUILDING NOTES:
1. FIGURES A, B, C & D ON THE RIGHT INDICATE EXAMPLES OF IRREGULAR BUILDINGS.
2. FOR IRREGULAR BUILDINGS, FRAME SPACING MUST BE REDUCED BY 6" FROM OPEN BUILDING SPACING TABLE. SEE SHEET 4 FOR OPEN BUILDING TABLE.
3. SITE SPECIFICS MAY ALLOW FOR ALTERNATIVE SPACING.

TABLE 5.2: GIRT SPACING SCHEDULE

FRAME SPACING	WIND SPEED (MPH)							
	105	115	130	140	155	165	180	
5'-0"	60	48	36	30	24	24	18	
4'-6"	60	60	48	42	36	30	24	
4'-0"	60	60	54	54	42	36	30	
3'-6"	60	60	54	54	48	42	42	
2'-0" TO 3'-0"	60	60	54	54	48	42	42	

NOTES:
1. GIRT SPACING UNITS ARE IN INCHES.
2. THIS SCHEDULE IS TO BE USED FOR BOTH MGA
3. FRAME SPACING NEEDS TO BE DETERMINED FROM TABLE 4.

Example Plans
Proposed Building is 30' by 30'

APPROVED
By Tracy Bybee at 7:43 am, Feb 01, 2022

MANUFACTURED BY:

457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

ENGINEERED BY:

A&A ENGINEERING
CIVIL • STRUCTURAL
6063 Renaissance Place, Toledo, OH 43623
Tel: 419-292-1583 • Fax: 419-292-0955
www.aandengineering.com

DRAWING INFORMATION
PROJECT: 30'-0" WIDE BUILDINGS
LOCATION: STATE OF CALIFORNIA
PROJECT NO.: 233-21-0026
SHEET TITLE:
PURLIN & GIRT
SPACING SCHEDULES
SHEET NO.: 5 / 11
DRAWN BY: A.W. **DATE:** 1/16/21
CHECKED BY: OAA **DATE:** 1/16/21

LEGAL INFORMATION
- ANY DUPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY FORBIDDEN. ANYONE DOING SO WILL BE PROSECUTED UNDER THE FULL EXTENT OF THE LAW.
- DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

SEAL:

REGISTERED PROFESSIONAL ENGINEER
CIVIL
OMAR A. ABU-YASEIN
C73389
STATE OF CALIFORNIA

STAMP EXPIRY: DEC 31 2022
DATE SIGNED: JAN 31 2021

EXHIBIT "A"
DENNIS PERRY USE PERMIT (PD-22-16)
COLUSA COUNTY PLANNING COMMISSION
JULY 6, 2022

EXAMPLE BUILDING PLANS

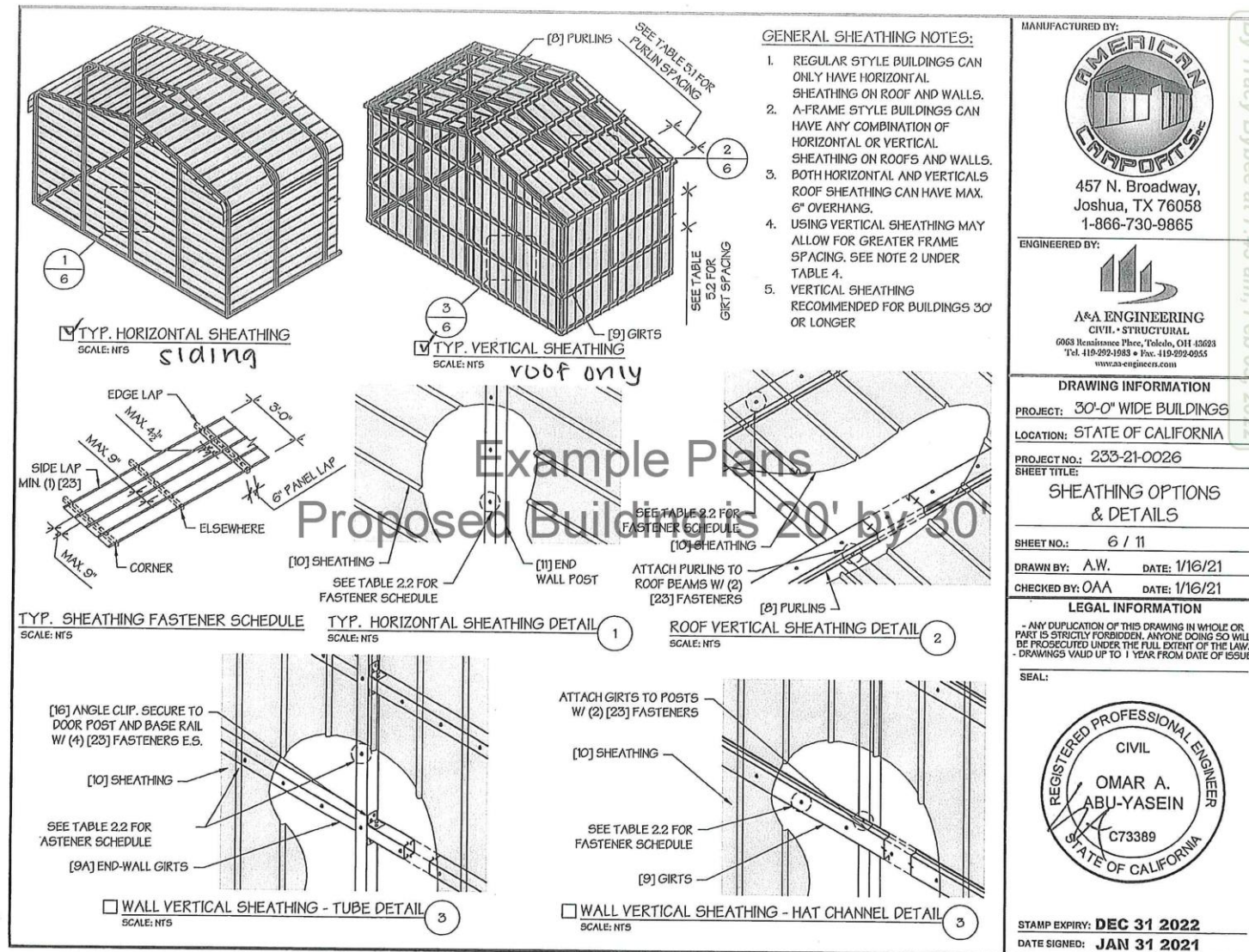


EXHIBIT "A"
DENNIS PERRY USE PERMIT (PD-22-16)
COLUSA COUNTY PLANNING COMMISSION
JULY 6, 2022

EXAMPLE BUILDING PLANS

☐ SIDE WALL OVERHEAD DOOR OPENINGS
SCALE: NTS

☐ SIDE WALL OVERHEAD DOOR OPENINGS WITH TRUSS STYLE HEADER
SCALE: NTS

Example Plans

Proposed Building is 20' by 30'

☒ SIDE WALL SERVICE DOOR / WINDOW OPENINGS
SCALE: NTS

SIDE WALL FRAMING NOTES:

1. TRUSS-STYLE HEADERS ARE REQUIRED FOR WHERE THE GROUND SNOW LOAD IS 40 PSF OR GREATER.
2. DESIGNS AND DETAILS SHOWN HERE ARE APPLICABLE TO BOTH REGULAR AND A-FRAME STYLE BUILDINGS.
3. MAX. HEIGHT OF SIDE WALL OVERHEAD DOOR OPENINGS IS 2 FT LESS THAN THE EAVE HEIGHT.
4. OVERHEAD DOOR OPENINGS CANNOT CUT THROUGH MORE THAN 2 FULL FRAMES.
5. MIN. 1 CLEAR BAY MUST BE MAINTAINED BETWEEN ANY 2 OVERHEAD DOOR OPENINGS. A CLEAR BAY IS A SPACE BETWEEN TWO FRAMES THAT HAS NO OVERHEAD DOOR OPENINGS.
6. MIN. 1 CLEAR BAY MUST ALSO BE MAINTAINED FROM THE BUILDING CORNERS.
7. SERVICE DOORS AND WINDOWS CAN BE PLACED IN CLEAR BAYS OR ANY WHERE ELSE AS NEEDED.

MANUFACTURED BY:

457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

ENGINEERED BY:

A&A ENGINEERING
CIVIL • STRUCTURAL
6063 Renaissance Place, Toledo, OH 43623
Tel. 419-292-1983 • Fax. 419-292-0955
www.a-a-engineers.com

DRAWING INFORMATION

PROJECT: 30'-0" WIDE BUILDINGS

LOCATION: STATE OF CALIFORNIA

PROJECT NO.: 233-21-0026

SHEET TITLE: SIDE WALL FRAMING & OPENINGS

SHEET NO.: 7-A / 11

DRAWN BY: A.W. DATE: 1/16/21

CHECKED BY: OAA DATE: 1/16/21

LEGAL INFORMATION

- ANY DUPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY FORBIDDEN. ANYONE DOING SO WILL BE PROSECUTED UNDER THE FULL EXTENT OF THE LAW.
- DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

SEAL:

REGISTERED PROFESSIONAL ENGINEER
CIVIL
OMAR A. ABU-YASEIN
C73389
STATE OF CALIFORNIA

STAMP EXPIRY: DEC 31 2022

DATE SIGNED: JAN 31 2021

APPROVED
By Tracy Blythe at 1:46 am, Feb 13, 2022

EXHIBIT "A"
DENNIS PERRY USE PERMIT (PD-22-16)
COLUSA COUNTY PLANNING COMMISSION
JULY 6, 2022

EXAMPLE BUILDING PLANS

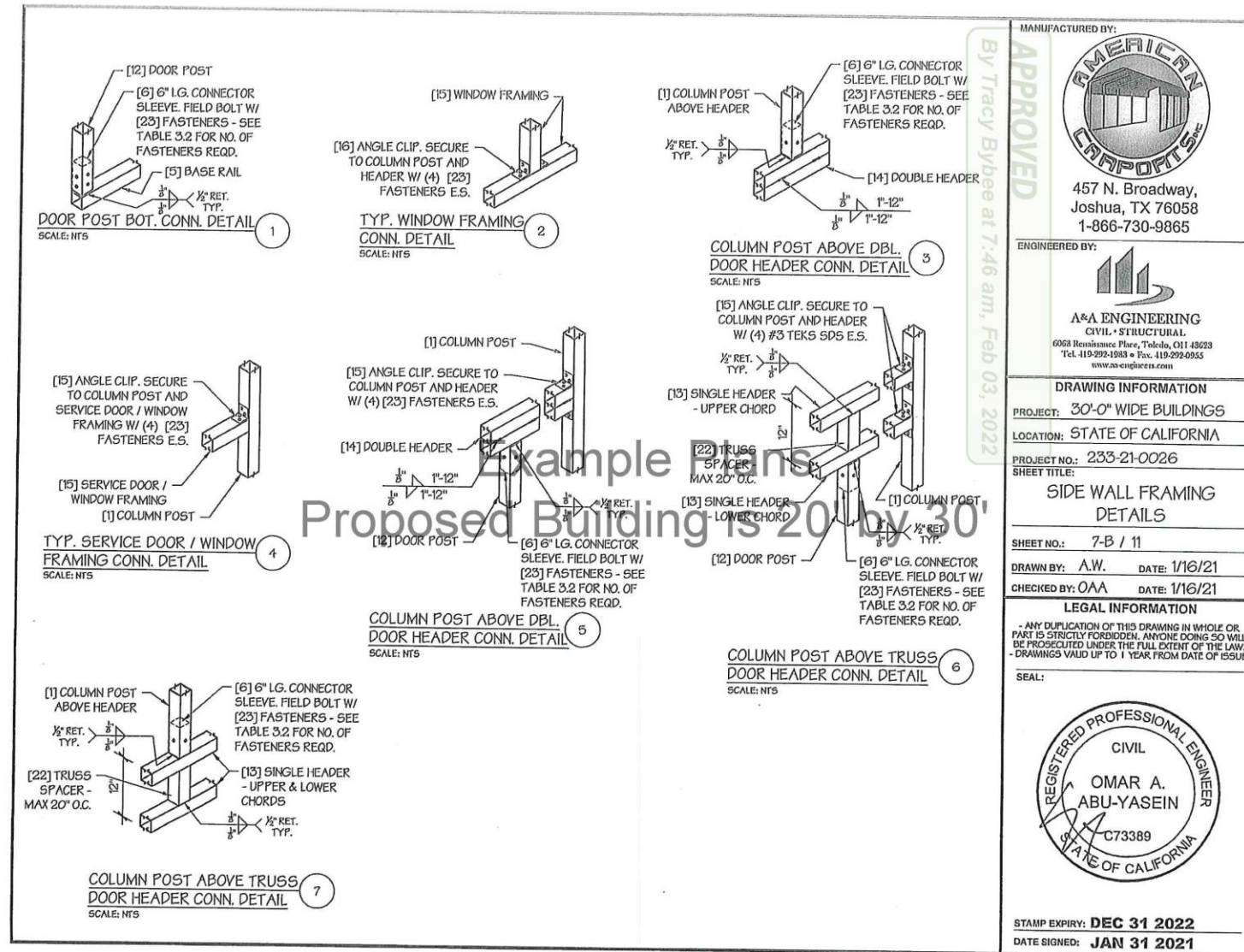


EXHIBIT "A"
DENNIS PERRY USE PERMIT (PD-22-16)
COLUSA COUNTY PLANNING COMMISSION
JULY 6, 2022

EXAMPLE BUILDING PLANS

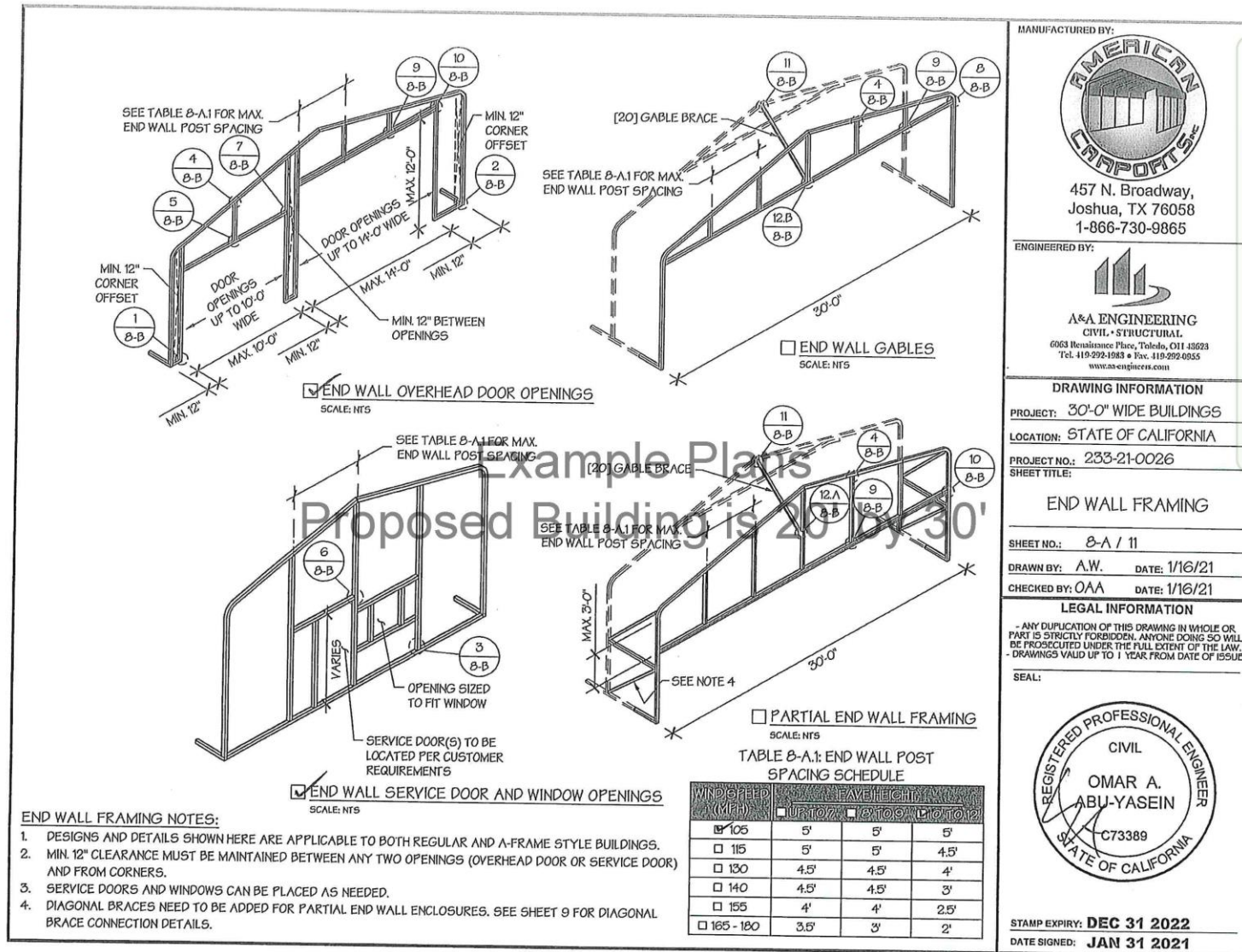


EXHIBIT "A"
DENNIS PERRY USE PERMIT (PD-22-16)
COLUSA COUNTY PLANNING COMMISSION
JULY 6, 2022

EXAMPLE BUILDING PLANS

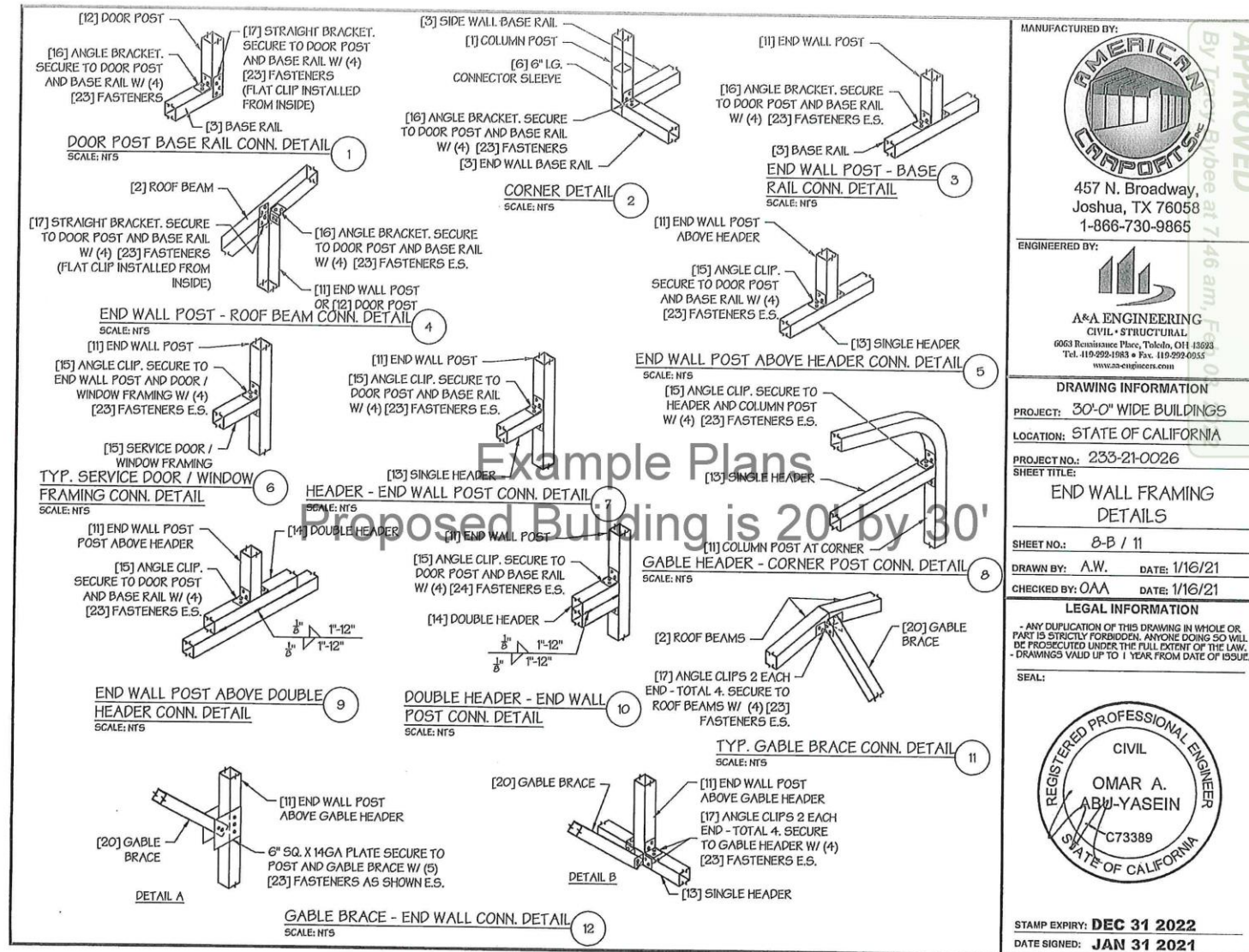
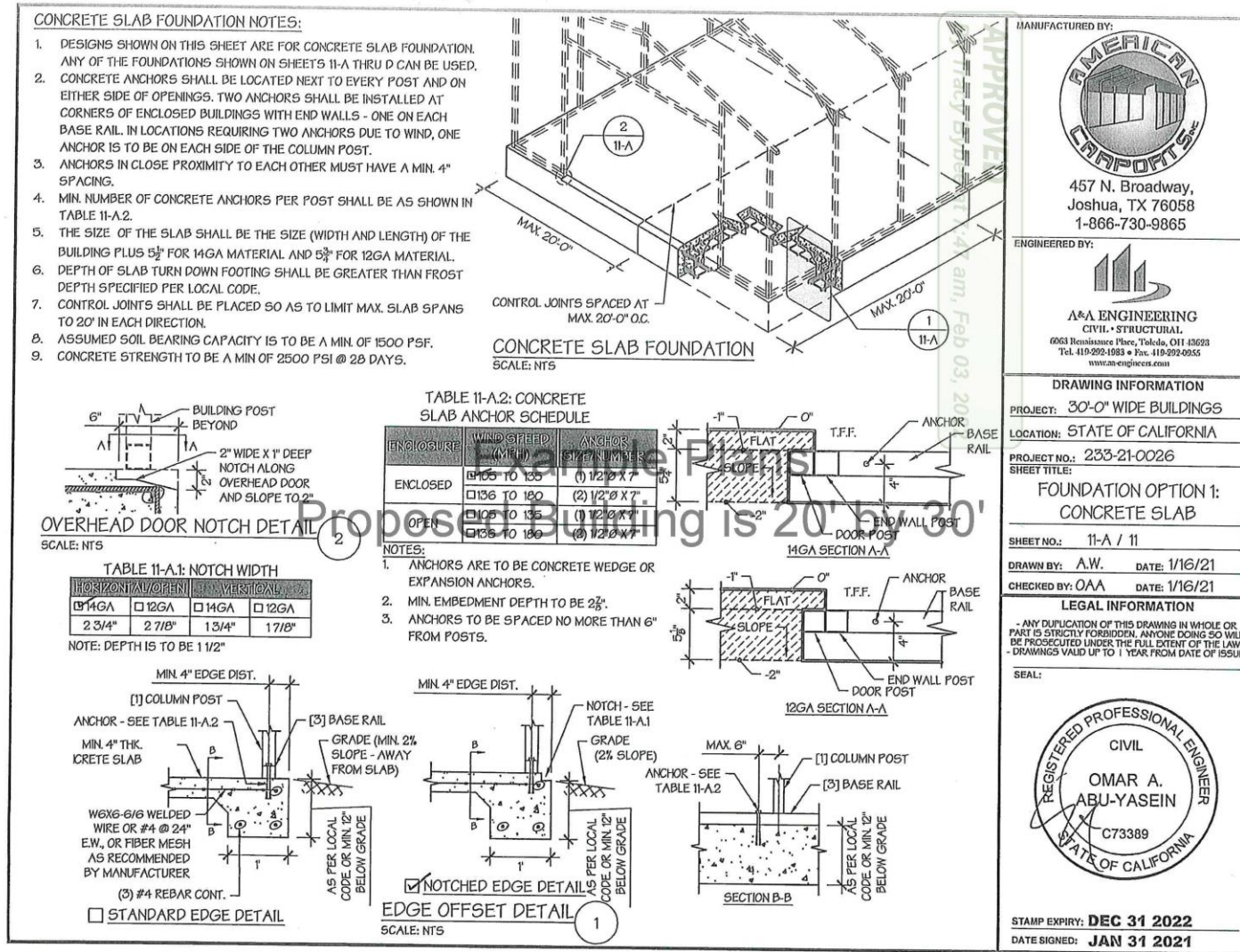


EXHIBIT "A"
DENNIS PERRY USE PERMIT (PD-22-16)
COLUSA COUNTY PLANNING COMMISSION
JULY 6, 2022

EXAMPLE BUILDING PLANS



**EXHIBIT “B”
DENNIS PERRY USE PERMIT (PD-22-16)
COLUSA COUNTY PLANNING COMMISSION**

July 6, 2022

DATE

PD-22-16

PERMIT NO.

013-013-003 & 013-013-008

ASSESSORS PARCEL NO.

Pursuant to the provisions of the Zoning Ordinance of the County of Colusa and the special conditions set forth below, the Dennis Perry is hereby granted Use Permit (PD-22-16) in accordance with the application filed to expand a legal non-conforming use (residence) at 343 North San Francisco Street in the Community of Maxell, identified on APNs 013-013-003 & 013-013-008 subject to all of the Conditions of Approval

CONDITIONS OF APPROVAL.

I. General

- A. Failure to comply with the conditions specified herein as the basis for approval of application and issuance of the Use Permit constitutes cause for the revocation of said permit in accordance with the procedures set forth in the Colusa County Code and Zoning Ordinance.
- B. Unless otherwise provided for in a special condition to this Use Permit, all conditions must be completed prior to or concurrently with the establishment of the granted use.
- C. The use shall be limited to the project described in Exhibit “A” as approved by the Planning Commission. Minor changes may be approved by the Zoning Administrator pursuant to Section 44-1.80.030 of the County Code. Changes deemed to be major or significant in nature shall require a formal application or amendment as determined by the Community Development Director.
- D. The use granted by this permit must be established within 24 months per the County Code. Upon written request by the applicant, the original review authority for the permit may extend the time limit for the permit per the County Code.
- E. The terms and conditions of this permit shall run with the land and shall be binding upon and be to the benefit of the heirs, legal representatives, successors and assigns of the Permittee.

CONDITIONS OF APPROVAL

II. Planning and Building

- A. The applicant agrees, as a condition of issuance and use of this entitlement, to indemnify and defend the County, at applicant's sole cost and expense, in any claim, action, or proceeding brought against the County within 180-days after the issuance of this entitlement because of, or resulting from, any preliminary approval or actual issuance of this entitlement, or, in the alternative, to relinquish such entitlement. Applicant will reimburse the County for any damages, court costs and attorney fees which the County may be required by a court to pay as a result of such claim, action or proceeding. The County shall promptly notify the applicant of any such claim, action, or proceeding and will cooperate in its defense. The County may also, at its sole discretion, participate in the defense of any such claim, action, or proceeding but such participation shall not relieve applicant of its obligations under this condition.
- B. The applicant shall comply with all other applicable federal, state, and local laws, statutes, ordinances and regulations.
- C. The applicant shall maintain the property in a manner as to not create a public nuisance (e.g. accumulations of garbage and debris) as defined by Chapter 42 of the Colusa Code.
- D. Any expansion of the structure beyond what is detailed in the application will require an application for an Amendment to PD-22-16.
- E. Prior to building permit issuance, any required Flood Zone Development Permit shall be approved by the Department of Public Works. Any required flood zone mitigation measures shall be shown on the building permit plans.
- F. The proposed buildings shall comply with the setbacks shown on the Site Plan of Exhibit "A". The building permit plan set shall clearly show these setbacks to the satisfaction of the Community Development Director.

LEGAL NOTICE

COUNTY OF COLUSA PLANNING COMMISSION

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN THAT the Colusa County Planning Commission will conduct a Public Hearing July 6, 2022 at 9:00 a.m. in the Board of Supervisors Chambers located at 546 Jay Street, Suite 108, Colusa, CA, to consider the following:

Use Permit E Perry (PD 22-16) - Proposed Resolution of the Planning Commission to adopt a CEQA Exemption and approve a Use Permit to allow expansion of a residential use in a commercial zone. The expansion consists of the placement of a 600 square foot metal storage/garage building for personal storage. The project site is zoned Community Commercial (C-2). The project site is located at 343 North San Francisco Street in the Community of Maxwell, identified as 013-013-003 & 013-013-008.

The Planning Commission will consider an exemption from CEQA pursuant to Title 14, Article 19 of the California Code of Regulations and Adopt a Categorical Exemption, because the project is considered exempt from CEQA pursuant to Section 15303(c) New Construction or Conversion of Small Structures because the construction is less than 2,500 square feet, in an urbanized area and appropriately zoned with approval of the Use Permit.

Documentation and information regarding the project may be obtained at the Community Development Department, 1213 Market Street, Colusa, CA (530) 458-0480. If you have questions or concerns regarding this matter, or would like to submit comments you may do so to the following: Secretary to the Planning Commission, 220 12th Street, Colusa, CA (530)458-0480, or by e-mail at kjohanns@countyofcolusa.org. Additional documentation is available for review in accordance with Agenda Scheduling Deadlines at the Office of the Clerk of the Board, 547 Market Street, Ste. 102, Colusa, CA (530)458-0508. All persons are invited to attend and be heard.

If you challenge the proposed project or environmental determination in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered at, or prior to, the public hearing.

Dated: June 20, 2022

/s/ Melissa Kitts, Deputy Clerk

06/23, 06/30/2022 - CCPR #2022-0649

Attachment: 07-06-22 Notice of Public Hearing - Perry (8415 : Dennis Perry Use Permit PD-22-16)



Planning Commission

546 Jay Street, Suite 108
Colusa, CA 95932

Meeting: 07/06/22 09:00 AM
Department: Community Development Department
Category: Public Hearing
Prepared By: Kent Johanns
Initiator: Kent Johanns
Sponsors:

SCHEDULED

PLANNING COMMISSION (ID # 8429)

DOC ID: 8429

Detail

Applicant: Diane and Gary Evans
General Plan: Agriculture Transition (AT)

File: PD-22-15
Zoning: Upland Transition (U-T)

Formal Title / Summary

Resolution Adopting Statutory Exemptions and Approving a Tentative Parcel Map for Diane and Gary Evans

Action Requested

Public Hearing and adoption of a Resolution approving Statutory Exemptions and approving Tentative Parcel Map #PD-22-15 for Diane and Gary Evans.

DETAILED DESCRIPTION/BACKGROUND OF REQUEST

The proposed application is for a Tentative Parcel Map to divide two 20± acre parcels into four parcels (Parcel 1 - 10± acres, Parcel 2 - 10± acres, Parcel 3 - 10± acres, and Parcel 4 - 10± acres).

APNs:

030-580-002, 030-580-003, 030-640-002, and 030-640-003

LOCATION:

The project site is located on the south side of the Lodoga-Stonyford Road directly across the road from the Century Ranch development and approximately 1,000 feet west of the intersection of Lodoga-Stonyford Road and Fur Trader Lane.

PROJECT AND SITE DESCRIPTION:

There are two existing 20± acre parcels totaling some 40± acres involved with the project. The project site is zoned Upland Transition (U-T). Approval of the Tentative Parcel Map would result in the creation of four 10± acre parcels for agricultural and associated residential uses.

The project site is relatively flat and is predominantly grassland with areas of oak groves. There is an existing access road and a thirty-foot access and utility easement situated on the easterly portion of the property. This access also serves parcels to the south of the project site.

ANALYSIS:

General Plan and Zoning

The project site has a General Plan Land Use Designation of Agriculture Transition (AT) and Zoning Classification of Upland Transition (U-T). The minimum parcel size for land divisions within areas designated and classified as such is 10± acres. The proposed parcel map meets the required criteria.

The project is considered consistent with Colusa County General Plan Policies, for example AG 1-4, which states:

Policy AG 1-4: Maintain agricultural parcel sizes that are large enough to sustain agricultural activities. The following minimum lot sizes shall apply to agricultural lands: Agricultural General- 40 acres, Agricultural Upland- 80 acres, and Agricultural Transition - 10 acres.

As a result, the project is consistent with the Colusa County General Plan and Colusa County Zoning Ordinance.

Discussion

The existing road situated within the 30-foot access and utility easement bi-sects proposed Parcels 2 and 4 and would provide access to all four lots, as well as properties to the south. The proposed parcel map would provide additional 30-foot wide access and utility easements to serve Parcels 1 and 3. In addition, an additional 30-foot access and utility would be created along the southerly boundary of Parcel 4 for the benefit of the adjacent parcel to the east (Thomas). The existing and the proposed easements would provide adequate access to support the development of the future lots.

The project site is located in Cal Fire's State Responsibility Area (SRA) and is subject to Cal Fire's Fire Safe Requirements. The new access roads are considered driveways under the Fire Safe Standards as they serve two or fewer home sites. As part of the future review of building permits, compliance with the local and State fire standards will be determined. This review will consider driveway width, length, construction and turn out/turnaround requirements. The necessary driveway access is typically required prior to vertical construction occurring. In the attached resolution, conditions of approval have been required to address these requirements.

Surrounding Land Use and Compatibility

Surrounding land uses are agricultural and located on parcels ranging from 0.28± acres to 20± acres. There are residences located adjacent to the project site to the south and to the west. No actual development is proposed under this application and any future construction would be regulated by the existing zoning code and the applicable performance standards.

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA):

The TPM is considered to be statutorily exempt from CEQA due to the low level of development allowable under the U-T zoning and performance standards; no foreseeable changes or impacts are anticipated. As a result, the project is considered exempt from CEQA under pursuant to Title 14, Article 5 of the California Code of Regulations Sections 15060(c)(2) because this project will not result in a direct or reasonably foreseeable indirect physical change in the environment, and 15061(b)(3) because there is no possibility this project may have a significant effect on the environment.

SUMMARY

The proposed subdivision is consistent with the General Plan and Zoning requirements and is exempt from CEQA. Based upon the totality of the record, staff is recommending the Planning Commission approve the project by adopting the attached resolution.

RESOLUTION NO. 22-__

**RESOLUTION OF THE COLUSA COUNTY PLANNING COMMISSION
ADOPTING STATUTORY EXEMPTIONS AND APPROVING
TENTATIVE PARCEL MAP #PD-22-15 FOR DIANE AND GARY EVANS**

WHEREAS, Diane and Gary Evans filed an application with the Colusa County Community Development Department to subdivide two parcels totaling some 40± acres into four 10± acre parcels; and

WHEREAS, the County of Colusa is the Lead Agency and pursuant to the California Environmental Quality Act (CEQA) it has determined statutory exemptions are appropriate for the Project; and

WHEREAS, A Notice of Public Hearing for consideration of the proposed Tentative Parcel Map was published in accordance with all applicable requirements; and

WHEREAS, on July 6, 2022 the Planning Commission held a public hearing on the Project at which time the Commission considered all information submitted by County staff and public testimony.

NOW, THEREFORE, BE IT RESOLVED that the Colusa County Planning Commission based on facts in the Staff Report, written and oral testimony, and exhibits presented, does the following:

- I. Adopts CEQA statutory exemptions. Specifically, the Project is exempt from CEQA under Title 14, Article 5 of the California Code of Regulations, sections 15060(c)(2) because this project will not result in a direct or reasonably foreseeable indirect physical change in the environment, and 15061(b)(3) because there is no possibility this ordinance may have a significant effect on the environment.
 - A. Finds that the proposed statutory exemptions are adequate and reflects the independent judgment and analysis of the County, which is the lead agency.
- II. Approves the application as attached in Exhibit “A”, subject to conditions found attached as Exhibit “B” and the following Findings:

BE IT FURTHER RESOLVED that the County Planning Commission makes the following findings:

- A. The proposed project will not impair the integrity and character of the zone in which the land lies, and that the use would not be injurious or detrimental to the health, safety and general welfare of the persons residing or working in the neighborhood, or to the general health, safety and welfare of the County.
 1. The Project would not be incompatible with surrounding land uses in the area.

2. The Project is in a zoning classification conditionally suitable for the proposed use.
 3. The configuration of the parcels and improvement of the property will not conflict with easements, access through, or use of the property.
 4. Approval of this project will not be detrimental to the public health, safety and welfare with compliance of the required conditions of approval.
- B. The Project is consistent with the Colusa County General Plan Land Use Element goals and policies for the Agricultural Transition (AT) land use designation.
 - C. The project is consistent with the Colusa County Zoning Ordinance's Upland Transition (U-T) regulations.
 - D. The project approval does not trigger any of the findings detailed in Section 4.02 (Reasons for Denial of Tentative, Final or Parcel Map Approval) of Appendix IV (Subdivision) of the Colusa County Code which would prevent project approval.

PASSED AND ADOPTED this 6th day of July, 2022 by the following vote:

AYES:

NOES:

ABSENT:

Kirk Pendleton, Planning Commission Chair

ATTEST: Greg Plucker, Secretary to the
Colusa County Planning Commission

Melissa Kitts, Deputy Clerk

APPROVED AS TO FORM

Jennifer Sutton, Sr. Deputy County Counsel

EXHIBIT “B”

Tentative Parcel Map Conditions for Diane and Gary Evans TPM (PD 22-15), Tentative Parcel Map subdividing two existing parcels totaling some 40± acre property into four 10± acre parcels.

CONDITIONS OF APPROVAL:

Department of Planning and Building

1. The final Parcel Map shall conform to Tentative Map #PD 22-15 submitted and on file at the Colusa County Community Development Department and as approved by the Colusa County Planning Commission.
2. The applicant agrees, as a condition of issuance and use of this entitlement, to hold harmless, indemnify and defend the County, at applicant's sole cost and expense, in any claim, action, or proceeding brought against the County after the issuance of this entitlement because of, or resulting from, or related to, any preliminary approval or actual issuance of this entitlement. Applicant will reimburse the County for any damages, costs of any kind including staff time, and attorney fees, including court ordered attorney fees, resulting from any such claim, action or proceeding. The County shall promptly notify the applicant of any such claim, action, or proceeding and will cooperate in its defense. The County may also, at its sole discretion, participate in the defense of any such claim, action, or proceeding but such participation shall not relieve applicant of its obligations under this condition.
3. The applicant shall also comply with all state, federal and local statutes, ordinances and regulations.
4. Applications for future development are subject to the applicable development standards and are subject to the performance standards of the zone in which they are located.
5. A Conditions of Approval Section shall be included on the Parcel Map recordation cover page which states that the Conditions of Approval required for the development of the parcels created by the parcel map shall be completed in accordance with the conditions approved by the Planning Commission on said approval date. This notice shall also state that the Conditions of Approval are on file with the Colusa County Community Development Department and shall identify the applicable Resolution Number, and specifically reference the performance standards of the applicable zoning district. The final wording of this section shall be subject to the Community Development Director's review and approval prior to final map recordation.

Environmental Health

6. Prior to new well construction or any well abandonment, applicants shall obtain the necessary permits and inspection by the Environmental Health Division.

Attachment: Exhibit "B" Conditions of Approval for TPM #PD-22-15 (8429 : Evans TPM (PD-22-15))

7. Prior to any septic system installation, applicants shall obtain the necessary permits and inspections by the Environmental Health Division.

Public Works

8. All weather access driveways shall be constructed to the building site, conforming to County standards and local fire department requirements, prior to building permit issuance. The Public Works Director in consultation with the Community Development Director may defer the installation of the required access driveways until vertical construction commences.
9. Any work within the County Road right-of-way shall require an encroachment permit.
10. All existing and proposed easements shall be shown on the final Parcel Map.

Building

11. As part of the building permit plan set for future construction, compliance with local and State fire construction standards shall be submitted for review and approval by the County's building official.

NOTATION:

A minor change(s) may be approved administratively by the Planning Director pursuant to Section 44-1.90.080(B)(1-5) of the Colusa County Code.

Should the Planning Director determine that any proposed change(s) does not qualify under the provisions of Section 44-1.90.080(B)(1-5), said change(s) shall be processed pursuant before the original review authority pursuant to Section 44-1.90.080 (C,D,E) of the Colusa County Code.

LEGAL NOTICE

COUNTY OF COLUSA PLANNING COMMISSION

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN THAT the Colusa County Planning Commission will conduct a Public Hearing on July 6, 2022 at 9:00 a.m. in the Board of Supervisors Chambers located at 546 Jay Street, Suite 108, Colusa, CA, to consider the following:

Tentative Parcel Map for Diane and Gary Evans (PD-22-15) - Proposed Resolution of the Planning Commission to adopt CEQA Exemptions and approve a Tentative Parcel Map subdividing an existing 40ffl acre property resulting in four parcels (Parcel 1 - 10ffl acres, Parcel 2 - 10ffl acres, Parcel 3 - 10ffl acres, and Parcel 4 - 10ffl acres). The project site is located on the south side of the Lodoga-Stonyford Road directly across the road from the Century Ranch development and approximately 1,000 feet west of the intersection of Lodoga-Stonyford Road and Fur Trader Lane, identified as APNs 030-580-002, 030-580-003, 030-640-002, and 030-640-003.

The Planning Commission will consider exemptions from CEQA pursuant to Title 14, Article 5 of the California Code of Regulations Sections 15060(c)(2) because this project will not result in a direct or reasonably foreseeable indirect physical change in the environment, and 15061(b)(3) because there is no possibility that the project may have a significant effect on the environment.

Documentation and information regarding the project may be obtained at the Community Development Department, 1213 Market Street, Colusa, CA (530) 458-0480. If you have questions or concerns regarding this matter, or would like to submit comments you may do so to the following: Secretary to the Planning Commission, 220 12th Street, Colusa, CA (530)458-0480, or by e-mail at kjohanns@countyofcolusa.org. Additional documentation is available for review in accordance with Agenda Scheduling Deadlines at the Office of the Clerk of the Board, 547 Market Street, Ste. 102, Colusa, CA (530)458-0508. All persons are invited to attend and be heard.

If you challenge the proposed project or environmental determination in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered at, or prior to, the public hearing.

Dated: June 20, 2022

/s/ Melissa Kitts, Deputy Clerk

06/23, 06/30/2022 - CCPR #2022-0650

Attachment: 07-06-22 Notice of Public Hearing - Evans (8429 : Evans TPM (PD-22-15))