

MEMBERS

S. William Abel, Vice-Chair
John Hamill
Peter N. Lindquist, Chair
Gene Muir
David Myers
Toby Reading
Michael P. West



Department of Public Works
Mike Azevedo, Secretary to the
Airport Advisory Committee
1215 Market Street
Colusa, CA 95932
Phone: (530)458-0580
Fax: (530)458-5000
colusacountyca.igam2.com
www.countyofcolusa.com

COLUSA COUNTY Airport Advisory Committee AGENDA

July 10, 2023

Board Chambers
546 Jay Street, Suite 108
Colusa, CA 95932

Welcome to a meeting of the Colusa County Airport Advisory Committee. If you are scheduled to address the Committee, please state your full name for the record. Regularly numbered items may be considered at any time during the meeting. All items are listed in accordance with the Ralph M. Brown act. We invite all members of the public to attend.

You can listen to the meeting by dialing one of the teleconference numbers below:

Phone: 1-916-246-0723
Toll-Free: 1-800-356-8278
Conference Code: 401978 (This line is for listening in only)

1:30 p.m. CALL TO ORDER
• Pledge of Allegiance

I. PUBLIC COMMENT

II. APPROVAL OF MINUTES

1. Airport Advisory Committee - Regular Session – March 6, 2023.

III. REPORTS

1. Director
2. Members
3. Ad Hoc Committee Reports
4. Report of Safety/Maintenance Issues

IV. SITTING AS THE AIRPORT LAND USE COMMISSION

1. Adopt a Resolution finding that Laurel Ag and Water's Pump Repair and Fabrication/Machine Shop Building is consistent with the County's Airport Land Use Compatibility Plan as conditioned.

ADJOURN

**THE NEXT REGULAR MEETING OF THE COLUSA COUNTY AIRPORT ADVISORY COMMITTEE IS
SCHEDULED FOR September 11, 2023.**

PERIOD OF PUBLIC COMMENT: Any person may speak about any subject of concern, provided it is within the jurisdiction of the Colusa County Airport Advisory Committee and is not already on today's agenda. The total amount of time allotted for receiving such public communication shall be limited to a total of 15 minutes per issue and each individual or group will be limited to no more than 5 minutes each within the 15 minutes allocated per issue. **Note:** No action shall be taken on comments made under this comment period.

ADA COMPLIANCE: Upon request, Agendas will be made available in alternative formats to accommodate persons with disabilities. In addition, any person with a disability who requires a modification or accommodation to participate or attend this meeting may request necessary accommodation. Please make your request to the County Board Clerk, specifying your disability, the format in which you would like to receive this Agenda, and any other accommodation required no later than 24 hours prior to the start of the meeting.

DISCLOSURE OF CAMPAIGN CONTRIBUTIONS: Pursuant to Government Code section 84308, members of the Board of Supervisors are disqualified and not able to participate in any agenda item involving contracts (other than competitively bid, labor, or personal employment contracts), franchises, discretionary land use permits and other entitlements if the Board member received more than \$250 in campaign contributions from the applicant or contractor, an agent of the applicant or contractor, or any financially interested participant who actively supports or opposes the County's decision on the agenda item since January 1, 2023. Members of the Board of Supervisors who have received, and applicants, contractors or their agents who have made, campaign contributions totaling more than \$250 to a Board member since January 1, 2023, are required to disclose that fact for the official record of the subject proceeding. Disclosures must include the amount of the campaign contribution and identify the recipient Board member and may be made either in writing to the Clerk of the Board of Supervisors prior to the subject hearing or by verbal disclosure at the time of the hearing.

All supporting documentation is available for public inspection and review in the office of the Board Clerk, 547 Market Street, Suite 102, Colusa, CA 95932 during regular business hours 8:30 a.m. to 5:00 p.m., Monday through Friday.
--

MEMBERS

S. William Abel, Vice-Chair
 John Hamill
 Peter N. Lindquist, Chair
 Gene Muir
 David Myers
 Toby Reading
 Michael P. West

**Department of Public Works**

Mike Azevedo, Secretary to the
 Airport Advisory Committee
 1215 Market Street
 Colusa, CA 95932
 Phone: (530)458-0580
 Fax: (530)458-5000
colusacountyca.igq2.com
www.countyofcolusa.com

COLUSA COUNTY AIRPORT ADVISORY COMMITTEE MINUTES

March 6, 2023

Board Chambers
 546 Jay Street, Suite 108
 Colusa, CA 95932

The Colusa County Airport Advisory Committee meets in Regular Session this 6th day of March 2023 at the hour of 1:30 p.m. Present: Committee Members Gene Muir, John Hamill, David Myers, Peter N. Lindquist and Michael P. West. Absent: Committee Member Toby Reading and S. William Abel.

Pledge of Allegiance

I. PERIOD OF PUBLIC COMMENT

Mr. Hulbert states they have been working on the Wescott Residential Project, which has been presented to the City Planning Commission for review. Mr. Hulbert further states they are making some adjustments to the map per City recommendations and anticipates it will come before the Airport Land Use Commission for review at the May 1, 2023 meeting.

II. ADMINISTRATION

Chair West makes time for nominations and election of the 2023 Airport Advisory Committee Chair and turns the gavel to the Clerk.

The Clerk calls for nominations of Chair.

Committee Member West nominates Committee Member Lindquist for Chair.

Committee Member Myers seconds the nomination.

The Clerk calls for further nominations and hearing none, the Clerk closes the nominations.

1. Elect Committee Member Lindquist as Airport Advisory Committee Chair for 2023.

Minutes Acceptance: Minutes of Mar 6, 2023 1:30 PM (APPROVAL OF MINUTES)

RESULT:	APPROVED [UNANIMOUS]
MOVER:	West
SECONDER:	Hamill
AYES:	Muir, Hamill, Myers, Lindquist, West
ABSENT:	Reading, Abel

The Clerk makes time for nominations and election of the 2023 Airport Advisory Committee Vice-Chair.

The Clerk calls for nominations of Vice-Chair.

Committee Member Myers nominates Committee Member Abel for Vice-Chair.

Committee Member Muir seconds the nomination.

The Clerk calls for further nominations and hearing none, the Clerk closes the nominations.

1. Elect Committee Member Abel as Airport Advisory Committee Vice-Chair for 2023.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Hamill
SECONDER:	Muir
AYES:	Muir, Hamill, Myers, Lindquist, West
ABSENT:	Reading, Abel

3. Approve the 2023 Airport Advisory Committee Meeting Schedule as amended.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	West
SECONDER:	Myers
AYES:	Muir, Hamill, Myers, Lindquist, West
ABSENT:	Reading, Abel

III. APPROVAL OF MINUTES

1. Airport Advisory Committee - Regular Session – November 7, 2022.

Due to an administrative error, the approval of minutes will be reagendized to May 1, 2023 meeting.

IV. REPORTS

1. Director

Mr. Azevedo states there was a planned power outage due to PG&E work on highway 20. He further states they will be bidding phase 2 of the Crack Seal and Slurry Seal project, of which the primary function is to change the magnetic declinations for the runway.

2. Members
None.

V. SITTING AS THE AIRPORT ADVISORY COMMITTEE

1. Consider administrative process to facilitate hangar construction at the Colusa Airport.

Comments received by Mr. Azevedo.

Chair Lindquist adjourns as the Airport Advisory Committee at 1:51 p.m. and states they are now sitting as the Airport Land Use Commission with all Commissioners present except Commissioners Abel and Reading.

VI. SITTING AS THE AIRPORT LAND USE COMMISSION

1. Receive an informational update report on the Laurel Ag and Water project.

Comments received by Mr. Plucker, Mr. Stout, Mr. Hulbert, Mr. Kley, and Mr. Sankey.

Chair Lindquist requests that Mr. Plucker look into the storm water pond area to determine if the area should be considered open space and report back at the May 1, 2023 meeting.

Chair Lindquist adjourned the meeting at 2:36 p.m. to reconvene in Regular Session on May 1, 2023 at the hour of 1:30 p.m.

Peter N. Lindquist, Chair

Attest: Wendy G. Tyler,
Clerk to the Board of Supervisors

BY _____
Melissa Kitts, Deputy Clerk

Minutes Acceptance: Minutes of Mar 6, 2023 1:30 PM (APPROVAL OF MINUTES)

**COUNTY OF COLUSA, CA****Request For Airport Advisory Committee**

MEETING DATE: July 10, 2023

DEPARTMENT: Community Development

FROM: Greg Plucker

SUBJECT: Laurel Ag and Water Pump Repair and Fabrication/Machine Shop Building

SITTING AS THE AIRPORT LAND USE COMMISSION

Adopt a Resolution finding that Laurel Ag and Water's Pump Repair and Fabrication/Machine Shop Building is consistent with the County's Airport Land Use Compatibility Plan as conditioned.

PROJECT OVERVIEW**Owner:**

Jacob Kley
General Manager
Colusa Industrial Properties
50 Sunrise Boulevard
Colusa, CA 95932
jkley@cipcorp.com
(530) 682-7432

Referring Agency:

City of Colusa
ATTN: Jess Cain
425 Webster Street
Colusa, CA 95932
citymanager@cityofcolusa.com
(530) 682-2933

Project Summary:

The City of Colusa has referred the planned construction of an 11,000 sq. ft. metal building (7,000 enclosed and 4,000 covered storage) for the Laurel Ag and Water project to the Colusa County's Airport Land Use Commission (ALUC) for a determination of consistency with Colusa County's Airport Land Use Compatibility Plan (ALUCP). The

proposed building would be part of the Laurel Ag and Water project and would be for pump repair, fabrication, and machine shop uses. The exterior yard area would be used to store equipment and materials that are less than 15 feet in height above the ground level and would be secured by a 6-foot high fence. There is no exterior area lighting proposed within the fenced yard area. However, the property owner has stated that there may be the need for a number (3 to 5) parking lot light poles with a maximum height of 20 feet. These poles would be shielded and directed downwards to avoid any light and glare impact. Please refer to Exhibit "A" for the written narrative and proposed building plans.

Location:

The proposed building would be located on an approximate 2-acre site off Davison Drive just north of the Compass Leaf project. As shown on the following figure, the site is located approximately 1,500 feet north of end of Airport Runway 13 (APN: 017-130-103).



Background:

At the Commission's November 2022 meeting, the preliminary proposal for the Laurel Ag and Water use was presented. As discussed at that meeting, Laurel Ag and Water planned to utilize an existing 2,400 sq.ft. building, construct new buildings, and convert adjacent land designated by the City as open space area to an outdoor storage yard.

At the Commission's March 2023 meeting, the Commission received an informational report on the use of a portion of the adjacent City designated open space for outdoor storage. As discussed at that meeting, City staff had determined that the outdoor

storage yard is permitted under Article 17, Section 17.02(a)1 of the City Zoning Code as a measure to promote conservation of natural terrain and vegetation, and to reduce fire and erosion hazards. Because this was an administrative interpretation, it was not subject to an ALUC consistency determination.

ANALYSIS:

Section 2.2.2 (h) of the ALUCP requires that nonresidential buildings greater than 10,000 square feet be reviewed by the ALUC for consistency with the ALUCP. Issues that typically require review and analysis include proposed uses, airspace obstruction/height, population density, open space area, and potential light and glare impacts. Exhibit "A" attached to the staff report shows the building's elevations and Attachment #1 shows the compatibility zone map and height analysis of the proposed building.

Use Compatibility:

The subject site and building is located predominately in the ALUCP's B1 Compatibility Zone. Although a small portion of the site and building appear to be located in the ALUCP's C1 Compatibility Zone, staff is conducting this consistency review based on the B1 standards as it is the most conservative of the two zones.

The B1 Compatibility Zone is described as an "Inner Approach/Departure Zone" with High Noise Level Risk and a High Risk Level Zone for Safety and Airspace Protection Factors. The proposed use of the machine shop (light-industrial) and outdoor storage is considered by the ALUCP as a "conditionally compatible" use. The term "conditional" is used by the ALUCP to indicate that a use may be compatible depending on how the use complies with various compatibility factors.

Airspace Obstruction/Height:

With respect to potential height issues, the maximum height of the building above grade is 27.08'. This height would be at a maximum elevation of 77.08 feet (NAVD 88 Datum). This elevation is 6.14 feet below the 50:1 Part 77 slope (83.22 feet); the most conservative surface plane. Outdoor uses would not exceed 15 feet in height, which is 12 feet lower than the proposed building. Parking lot lighting is also anticipated (although not mentioned in the written project description) and would be approximately 20 feet in height, some 7 feet lower than the proposed building. The proposed project is also outside the 20:1 Threshold Sighting Surface and the Runway Protection Zone. Accordingly, the proposed projects is consistent with the ALUCP height requirements.

Population Density:

The B1 Compatibility Zone specifies a Maximum Sitewide Average density of 25 persons per acre and a Maximum Single Acre density of 50 persons. In analyzing the density intensity, staff took a conservative approach that included adding the Chamber of

Commerce building. The Chamber of Commerce building was included because it is currently on the same parcel as the storefront building and should be considered as part of the overall development; although the parcel map is being processed by the City which would place the Chamber's building on its own lot.

Per the below table, a maximum of 138 persons could be allowed on the entirety of the 5.52 acre development area at build-out with no more than 50 persons being on any one acre. It is estimated that the population within the area of development would be approximately 45, which is below the single-acre maximum and well below the maximum sitewide average.

B1 Compatibility Zones Maximum Density Intensity				
	People/Acre	Project Area Size (3.52 Total Acres)	Allowed Persons	Persons Proposed*
Maximum Sitewide Average	25	5.52	138	45
Maximum Single Acre	50	1.00	50	45

Note: * Assumes 15 employees and 10 customers at anyone time at build-out. An additional 20 persons assumed from Chamber building.

Based on the above analysis, the proposed intensity of the population density would be consistent with the ALUCP.

Open Space:

As shown in the table below, the open space requirement for the B1 Zone per the ALUCP has been calculated at 19.17 acres. As shown in the below table, the existing open space area has been calculated at 27 acres and is above the required minimum open space area specific by the ALUCP. Please note that the calculation of the existing open space area has removed the area of obstruction in the detention pond that was discussed at the last ALUC meeting.

B1 Existing Open Space Calculation					
Compatibility Zone	Total Acreage	Open Space % Required	Required Open Space	Ex Open Space Area(1)	Ex Open Space %(1)
B1	63.90	30.00%	19.17	27.00	42.25%

The proposed project does not change the calculated open space area of the northern B1 zone (or the C1 zone as well) as the project site is located in a planned development area that has been excluded from the open space area calculation. As such, the project is consistent with the open space requirements of the B1 zone.

Light and Glare:

As detailed in the project narrative (Exhibit "A"), building exterior lighting will be downward facing, parking lot lighting would be shielded and downward facing, and no outdoor area lighting is proposed within the fenced storage area. Accordingly, no

light or glare issues are anticipated. The draft resolution attached to the staff report contains a condition confirming this requirement

PUBLIC COMMENTS:

No public comments have been received at this time. If comments are received following distribution of this staff report, those comments will be provided to the Airport Land Use Commission at the meeting.

ALUC STAFF RECOMMENDATION:

Staff recommends that the Commission adopt the proposed Resolution finding that this project is consistent with Airport Land Use Compatibility Plan subject to the findings and conditions contained in the Resolution.

PRIOR COMMITTEE ACTION

The Commission conducted a preliminary review of the project at its November, 2022 meeting and received an information report of the outdoor storage at its March, 2023 meeting.

FISCAL IMPACT/FUNDING SOURCE

The cost of staff time on this application has been paid for by the application processing deposit submitted by the applicant.

PREPARATION:

Prepared By:

Greg Plucker, Community Development Director (530) 458-0483

ACTION FOR THE CLERK

Obtain the Chair's signature on the resolution and forward an electronic copy to the Community Development Director and a hard copy to:

Jesse Cain
City Manager
City of Colusa
425 Webster Street
Colusa, CA 95932

ATTACHMENTS:

- ALUC Resolution Approving Laurel Ag and Water (DOCX)
- Exhibit "A" Written Narrative and Building Plans (PDF)
- Attachment #1 Building Height Protected Surface Evaluation (PDF)

RESOLUTION NO. 23-__

**A RESOLUTION OF THE COLUSA COUNTY AIRPORT LAND USE COMMISSION
MAKING AIRPORT LAND USE COMPATIBILITY PLAN CONSISTENCY FINDINGS
REGARDING THE LAUREL AG AND WATER
PUMP REPAIR AND FABRICATION/MACHINE SHOP BUILDING**

WHEREAS, the proposed Laurel Ag and Water pump repair, fabrication and machine shop building was referred to the Airport Land Use Commission (ALUC) for a consistency determination with the Colusa County's Airport Land Use Compatibility Plan (ALUCP);

WHEREAS, the project site is located off Davison Court in the City of Colusa and is approximately 1,500 feet north of the end of Runway 13 of the Colusa County Airport;

WHEREAS, the project site is predominately located within the ALUCP's B1 Compatibility Zone with a small portion in the C1 Zone and pursuant to the Airport Land Use Compatibility Plan (ALUCP) Section 2.2.2 (h) nonresidential buildings greater than 10,000 square feet must be reviewed by the ALUC for consistency with the ALUCP.; and

WHEREAS, the proposed project was submitted to the ALUC for review of its consistency with the ALUCP and at which time the Commission considered the staff report, the requirements of the ALUCP and all oral and written testimony presented concerning the application.

NOW, THEREFORE, BE IT RESOLVED that the Colusa County Airport Land Use Commission makes the following determinations and findings based on the totality review of the project:

- I. The Commission can only make a finding of consistency or inconsistency for the proposed outdoor storage use considered herein and is unable to make any finding of consistency with respect to any future use or development on the project site and, as such, all future uses and development not considered herein must be submitted to the County's ALUC staff to determine if the Commission is required to make a review of consistency consistent with the ALUCP. During any required subsequent review, the Commission may or may not find any future use or building associated with the project is consistent with the ALUCP.

- II. The proposed use and development (ALUC 23-2) as described in the Commission's July 10, 2023 staff report with its attached Exhibit "A" and Attachment #1 are herein incorporated by reference have the potential to be inconsistent with the ALUCP due to a variety of issues including but not limited to use compatibility, population density, light and glare impacts, hazardous materials and airspace obstruction, all of which could negatively impact aviation at the Colusa County Airport. However, based on the following facts, conditions on the proposed development and use, and contingent upon the agreement of project proponents to said conditions detailed herein, the proposed project would be consistent with the ALUCP:

A. Use Compatibility

1. The project site is predominately located within the ALUCP's B1 Compatibility Zone with a small portion in the C1 Zone and the proposed use and outdoor storage use is defined as a "conditional" use within said zone.
2. Pursuant to Section B (Density) below, the person density would be consistent with the ALUCP requirements.

B. Building Height

1. The maximum height of the proposed building above grade would be is 27.08'. This height would be at a maximum elevation of 77.08 feet (NAVD 88 Datum) and this elevation is 6.14 feet below the 50:1 Part 77 slope (75.84 feet); the most conservative surface plane. In addition, outdoor uses would not exceed 15 feet in height, which is 12 feet lower than the proposed building. The proposed project is also outside the 20:1 Threshold Sighting Surface and the Runway Protection Zone.
2. Pursuant to ALUCP Section 2.2.2 (k), no proposed object, improvement, structure, vehicle or equipment whether permanent or temporary having a height of more than 35 feet within the Compatibility Zone B1 or 70 feet within Compatibility Zone C1 is permitted unless found to be consistent with Section 3.5 (Airspace Protection Compatibility Policies) of the ALUCP by the ALUC. Nothing in this section eliminates the Federal Aviation Regulations Part 77 notification requirements.
3. Based on Section II.B.1, the proposed building and outdoor uses are consistent with the ALUCP height requirements and based on Section II.B.2 future uses, structures, equipment and vehicles whether permanent or temporary would be reviewed by the ALUC for consistency with the ALUCP and FAA height requirements.

C. Density

1. The B1 Compatibility Zone specifies a Maximum Sitewide Average density of 25 persons per acre and a Maximum Single Acre density of 50 persons which results in a maximum of 138 persons allowed on the entirety of the 5.52 acre area with no more than 50 person being on any one acre.
2. The proposed project would have a population within the area of development at build-out of a maximum of 45 persons, which is below the single-acre maximum and well below the maximum sitewide average.

3. In the future, should total occupancy of the site be proposed or exceed the ALUCP's calculated maximum of 138 persons allowed on the entirety of the project site, or 50 persons within any single acre, the occupancy density shall be reviewed by ALUC staff to determine whether said occupancy would require further consistency review by the ALUC. This consistency review shall occur prior to said occupancy exceeding said limits.

D. Exterior Lighting and Glare Impacts

1. The installation of unshielded exterior outside lighting could create a negative impact to night-time aircraft flight operations.
2. The project shall have no exterior lighting within the outdoor storage area, and building exterior lighting and parking lot lighting shall be side-shielded and downward facing. As such, the proposed project would not create a negative impact to aircraft flight operations and would be consistent with the ALUCP. In the future should any exterior lighting cause off-site glare, the lighting shall be reviewed by ALUC staff to determine whether said lighting would require further consistency review by the ALUC.

E. Avigation Easements

1. An Avigation Easement substantially consistent with the sample easement of Appendix "E" of the ALUCP shall be granted to the County of Colusa to the satisfaction of the Community Development Director prior to occupancy of the proposed building.

F. Hazardous Materials

1. No hazardous materials have been proposed to be used with the proposed project that would trigger the submittal of a Hazardous Material Business Plan to the Colusa CUPA.
2. Based on the applicant's statement that no hazardous materials will be used, the proposed project would not create a negative impact to aircraft flight operations and would be consistent with the ALUCP. In the future should any hazardous materials be proposed, said proposal shall be reviewed by ALUC staff to determine whether said materials would require further consistency review by the ALUC. This determination and consistency review shall occur prior to any hazardous materials being brought on site.

PASSED AND ADOPTED this 10th day of July, 2023 by the following vote:

AYES:

NOES:

ABSENT:

Peter N. Lindquist, Chair
Airport Land Use Commission

ATTEST TO FORM

ATTEST: Wendy G. Tyler, Secretary
Airport Land Use Commission

Melissa Kitts, Deputy Clerk

Richard Stout, County Counsel

Exhibit "A"

Laurel Ag & Water

Written Description of Operations

Laurel Ag & Water intends to occupy the existing 2,400 sq.ft. commercial space located at 2959 Davison Dr. for the purposes of operating a store front location for irrigation parts sales and service. Large irrigation parts and materials will be stored outdoors on the tentative parcels 2-4 as indicated on the provided TPM. The material storage yard is anticipated to have all product stored at or below 15' AGL within a 6' high fenced secure area. There is no area lighting proposed within the fenced storage area. Access to and from the fenced storage yard is anticipated to be from Sunrise Blvd. to the north and Davison Dr. to the east. Material delivery and shipping schedules depend on seasonal activity, but is anticipated to average no more than 6 total per day. No hazardous material is anticipated to be stored on site or within the proposed area. Customer walk in business to the store location will be via Davison Dr. and the existing adjacent paved parking lot area. Employee parking is anticipated to be within varying locations throughout the proposed area as occupancy is established.

Hours of operation for the anticipated use is expected to be Monday thru Friday 8:00am to 5:00pm with possible weekend scheduling as necessary, depending on seasonal activity. Total number of employees is anticipated to be 15 at full build out as described above. Customer activity and walk in business varies but is not anticipated to exceed 10 individuals at any one period of time daily.

No fuel storage on site is anticipated.

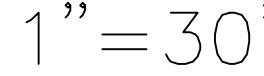
Update: 5/23/23

Colusa Industrial Properties intends to construct an 11,000 sq. ft. steel building (7,000 enclosed and 4,000 covered storage) per the plans provided. This building will be placed on APN# 017-130-097 currently zoned for general commercial use within City limits. This parcel is still indicated with the previous owner, but CIP has completed the purchase and closed escrow on 4/26/23 (escrow closing will be provided). This building is intended to support the activity of Laurel Ag & Water and serve as a pump repair and fabrication/machine shop. No fuel storage is anticipated other than onsite use consisting of typical gas cylinders associated with welding/cutting and manufacturing. The occupancy loading of this building does not add to what has been previously stated above and described at full build out. This building will be

Exhibit "A"

single story (warehouse) of steel construction and insulated with R-10 roof and walls. Commercial roll-up doors will be insulated with R-6 insulation. Building exterior perimeter lighting will be downward facing (typical). Access will be via Davison Drive, with estimated delivery schedule indicated above. Parking will be off Davison Drive as depicted in the provided Site Plan (11, one of which is ADA compliant). Hours of operation are as previously described above.

Attachment: Exhibit "A" Written Narrative and Building Plans (9145 : Laurel Aq and Water Repair and Machine Shop)



SITE PLAN



LAUREL AG- WAREHOUSE

[illegible]

SHEET

C1



PROJECT NUMBER: C23B0130A
PROJECT NAME: Laurel Ag – Warehouse
PROJECT LOCATION: Colusa, CA COUNTY: Colusa
CUSTOMER: Land X Construction, Inc. Colusa, CA

Exhibit "A"



PROJECT LOADS

DESIGN CODE: CBC 2022 BUILDING END USE: 2B
ROOF LIVE LOAD: 20 PSF MBMA OCC. CLASS: II – Standard Buildings
GROUND SNOW LOAD: 0 PSF SNOW EXP. FACTOR, Ce: 0.9
SNOW IMPORTANCE FACTOR, Is: 1
WIND: 93 WIND IMPORTANCE FACTOR, Iw:
EXPOSURE: C WITHIN HURRICANE COASTLINE ☐ YES ☒ NO
UL 90 ☐ YES ☒ NO RAIN INTENSITY (in/hr) N/A

SEISMIC INFORMATION Ss:0.733, S1:0.312
Design Sds/Sd1: Site Class: D
Seismic Imp. Factor Ie: 1 Seismic Design Category:
Analysis Procedure: Equivalent Lateral Force Method
Basic SFRS:

NOTES:
1) COLLATERAL DEAD LOADS, UNLESS OTHERWISE NOTED, ARE ASSUMED TO BE UNIFORMLY DISTRIBUTED. WHEN SUSPENDED SPRINKLER SYSTEMS, LIGHTING, HVAC EQUIPMENT, CEILINGS, ETC., ARE SUSPENDED FROM ROOF MEMBERS, CONSULT THE M.B.S. IF THESE CONCENTRATED LOADS EXCEED 200 POUNDS, OR IF INDIVIDUAL MEMBERS ARE LOADED SIGNIFICANTLY MORE THAN OTHERS.
2) THE DESIGN OF STRUCTURAL MEMBERS SUPPORTING GRAVITY LOADS IS CONTROLLED BY THE MORE CRITICAL EFFECT OF ROOF LIVE LOAD OR ROOF SNOW LOAD, AS DETERMINED BY THE APPLICABLE CODE.

	BUILDING	BUILDING	BUILDING
	Laurel Ag Warehouse	Canopy	SW Canopy
ROOF DEAD (PSF):	2.5	1	1
PRI. COL. (PSF):	5	5	5
SEC. COL. (PSF):	5	5	5
SNOW Ct:	1.2	1.2	1.2
SNOW Cs:			
ROOF SNOW (PSF):	0	0	0
WIND ENCLOSURE:	Enclosed	Enclosed	Enclosed
GCpi:			
SEISMIC R:			
SEISMIC Cs:			
BASE SHEAR (KIPS):			

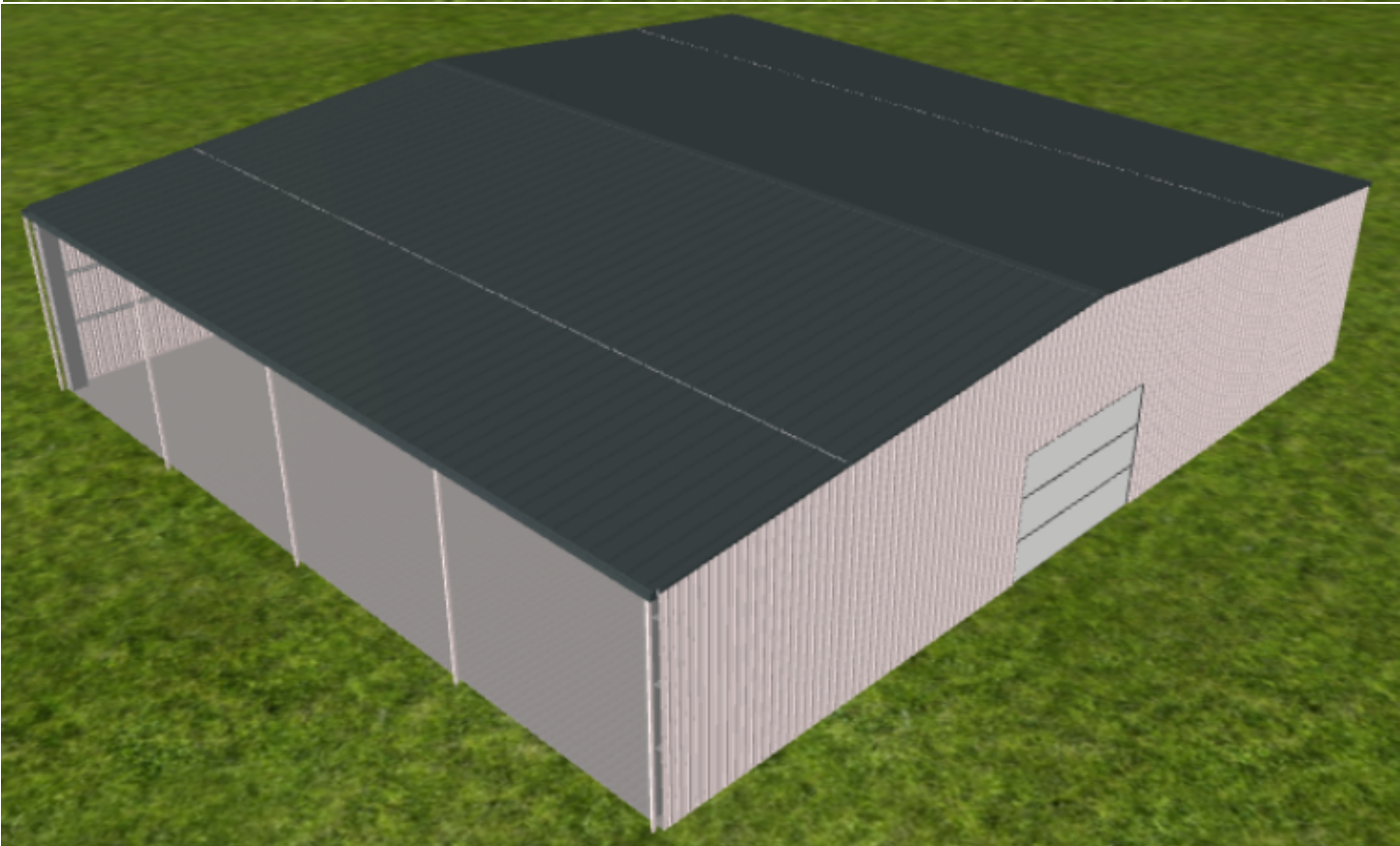
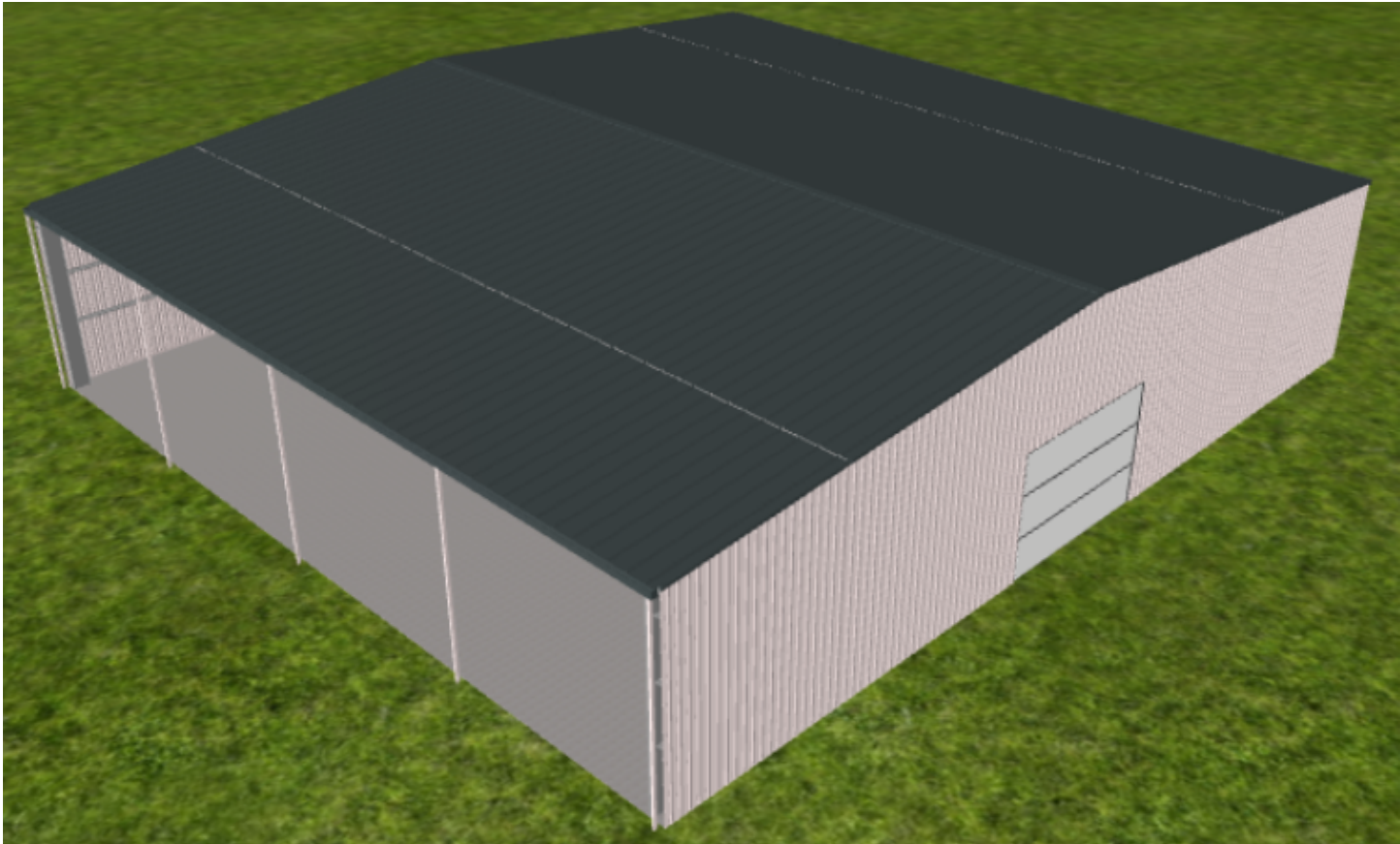
NOTES AND SPECIFICATIONS

BUILDING ERECTION NOTES

- 1) THE GENERAL CONTRACTOR AND/OR ERECTOR IS RESPONSIBLE TO SAFELY AND PROPERLY ERECT THE METAL BUILDING SYSTEM IN CONFORMANCE WITH THESE DRAWINGS, OSHA REQUIREMENTS, AND MBMA STANDARDS PERTAINING TO PROPER ERECTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE CORRECT USE OF TEMPORARY GUYS AND BRACING WHERE NEEDED FOR SQUARING, PLUMBING, AND SECURING THE STRUCTURAL AND SECONDARY FRAMING. SECONDARY WALL FRAMING MEMBERS (GIRTS OR BAR JOISTS) ARE NOT DESIGNED TO FUNCTION AS A WORK PLATFORM OR PROVIDE SAFETY TIE OFF ATTACHMENT IN ACCORDANCE WITH OSHA REQUIREMENTS. SECONDARY ROOF FRAMING MEMBERS (PURLINS OR BAR JOISTS) ARE NOT DESIGNED TO PROVIDE SAFETY TIE OFF ATTACHMENT IN ACCORDANCE WITH OSHA REQUIREMENTS.
- 2) ALL HIGH STRENGTH BOLTS ARE TYPE ASTM A325 AND ARE TO BE INSTALLED "SNUG-TIGHT" AS DEFINED BY THE APPLICABLE EDITION OF THE RCSC SPECIFICATION FOR STRUCTURAL JOINTS USING A325 OR A490 BOLTS, UNLESS NOTED OTHERWISE. ALSO, NOTE THAT BOLTS IN STANDARD HOLES DO NOT REQUIRE WASHERS PER THE RCSC SPECIFICATION FOR STRUCTURAL JOINTS USING A325 OR A490 BOLTS.
- 3) ALL A307 MACHINE BOLTS ARE TO BE BROUGHT TO A "SNUG TIGHT" CONDITION TO ENSURE THAT THE MATERIALS IN THE JOINT ARE BROUGHT INTO GOOD CONTACT WITH EACH OTHER.
- 4) WASHERS ARE REQUIRED AT ALL SLOTTED CONNECTIONS AS FOLLOWS:
=HOLE TO SLOT CONNECTION, ONE WASHER REQUIRED ON SLOTTED SIDE.
=SLOT TO SLOT CONNECTION, TWO WASHERS REQUIRED, ONE ON EACH SIDE OF THE CONNECTION. HOWEVER AT LAPPED ZEE MEMBERS, WHETHER PURLINS OR GIRTS, NO WASHERS ARE REQUIRED IN THE 8-BOLT LAPPED REGION.
- 5) THE METAL BUILDING SUPPLIER SHALL BE NOTIFIED PRIOR TO ANY FIELD MODIFICATIONS. MODIFICATIONS SHALL BE APPROVED BY THE METAL BUILDING SUPPLIER BEFORE WORK IS UNDERTAKEN.
- 6) ALL WELDING MUST BE PERFORMED BY AWS QUALIFIED WELDERS FOR THE WELDING PROCESSES AND POSITIONS INDICATED. ALL WORK MUST BE COMPLETED AND INSPECTED IN ACCORDANCE WITH THE APPLICABLE AWS SPECIFICATIONS. WELD ELECTRODES USED FOR THE SMAW (OR STICK) WELD PROCESS MUST BE 70 KSI STEEL AND LOW HYDROGEN CONTENT.
- 7) COMMON ABBREVIATIONS:
- | | |
|--|---------------------------------|
| a) TYP UNO--TYPICAL UNLESS NOTED OTHERWISE | f) SIM.--SIMILAR |
| b) SLV--SHORT LEG VERTICAL | g) NIC--NOT IN CONTRACT |
| c) LLV--LONG LEG VERTICAL | h) SL--STEEL LINE |
| d) NS & FS--NEAR SIDE AND FAR SIDE | i) N/A--NOT APPLICABLE |
| e) O.A.L.--OVERALL LENGTH | j) MBS--METAL BUILDING SUPPLIER |
- 8) CONSTRUCTION LOADS SHALL NOT BE PLACED ON ANY STRUCTURAL STEEL FRAMEWORK UNLESS SUCH FRAMEWORK IS SAFELY BOLTED, WELDED, OR OTHERWISE ADEQUATELY SECURED.
- 9) PURLINS AND GIRTS SHALL NOT BE USED AS AN ANCHORAGE POINT FOR A FALL ARREST SYSTEM UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE METAL BUILDING SUPPLIER.
- 10) PURLINS MAY ONLY BE USED AS A WALKING/WORKING SURFACE WHEN INSTALLING SAFETY SYSTEMS. AFTER ALL PERMANENT BRIDGING HAS BEEN INSTALLED AND FALL PROTECTION IS PROVIDED.
- 11) CONSTRUCTION LOADS MAY BE PLACED ONLY WITHIN A ZONE THAT IS WITHIN 8 FEET OF THE CENTER-LINE OF THE PRIMARY SUPPORT MEMBER. CFR BUNDLES SHOULD BE PLACED DIRECTLY OVER THE RIGID FRAMES.
- 12) ALL LIFTING DEVICES MUST MEET OSHA OR MSHA STANDARDS AND IN NO CASE IS IT ACCEPTABLE TO USE STRUCTURAL MEMBERS SUPPLIED BY THE MBS AS A SPREADER BAR OR LIFTING DEVICE.

GENERAL DESIGN NOTES AND MATERIAL SPECIFICATIONS

- 1) ALL STRUCTURAL STEEL SECTIONS AND WELDED PLATE MEMBERS ARE DESIGNED IN ACCORDANCE WITH THE AISC "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS--ALLOWABLE STRESS DESIGN", NINTH EDITION, OR THE AISC "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS", THIRTEENTH EDITION, AS REQUIRED BY THE SPECIFIED BUILDING CODE.
- 2) ALL WELDING OF STRUCTURAL STEEL IS BASED ON AWS D1.1 "STRUCTURAL WELDING CODE", LATEST EDITION.
- 3) ALL COLD FORMED MEMBERS ARE DESIGNED IN ACCORDANCE WITH AISI "SPECIFICATIONS FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS", LATEST EDITION.
- 4) ALL WELDING OF COLD FORMED STEEL IS BASED ON AWS D1.3 "STRUCTURAL WELDING CODE" - SHEET STEEL", LATEST EDITION.
- 5) IF JOISTS ARE INCLUDED WITH THIS PROJECT, THEY ARE SUPPLIED AS A PART OF THE SYSTEMS--ENGINEERED METAL BUILDING AND ARE FABRICATED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1926.758 OF THE OSHA SAFETY STANDARD FOR STEEL ERECTION, DATED JANUARY 18, 2001.
- 6) MATERIAL SPECIFICATIONS:
- PLATE AND FLANGE MATERIAL:
- 5"-12" WIDE & THRU 1" THICK A529, GRADE 55
OTHERS A572 GRADE 50 OR A36
- BUILT-UP STRUCTURAL WEB MATERIAL A1011 SS (OR HSLAS CL1) GR 55
- HOT-ROLLED STRUCTURAL A36 OR A572 GRADE 50 OR A992 GRADE 50
- STRUCTURAL TUBE A500 GRADE C (46 KSI)
- STRUCTURAL PIPE A500 GRADE B (42 KSI)
- COLD-FORMED STRUCTURAL A1011 OR A1039 SS (OR HSLAS CL1) GR 55
- RPB ROOF PANELS A792 GRADE 80
- STANDING SEAM ROOF PANELS A792 GRADE 50, CLASS 1
- R-PANEL AND A-PANEL SIDING A653 GRADE 80, CLASS 1 OR A792 GRADE 80, CLASS 1
- ROD BRACING A529 GRADE 50
- CABLE BRACING A475 COATING CLASS A, GRADE EHS, 7-WIRE
- WELDS AWS D1.1 LATEST EDITION
- HIGH-STRENGTH BOLTS A325 TYPE 1 HEAVY HEX OR A490 TYPE 1 HEAVY HEX
- MACHINE BOLTS A-307 GRADE A HEX



3.1.b



PROJECT NAME:
LAUREL AG – WAREHOUSE
COLUSA, CA

CUSTOMER NAME:
LAND X CONSTRUCTION INC

NOT USE FOR FINAL CONSTRUCTION

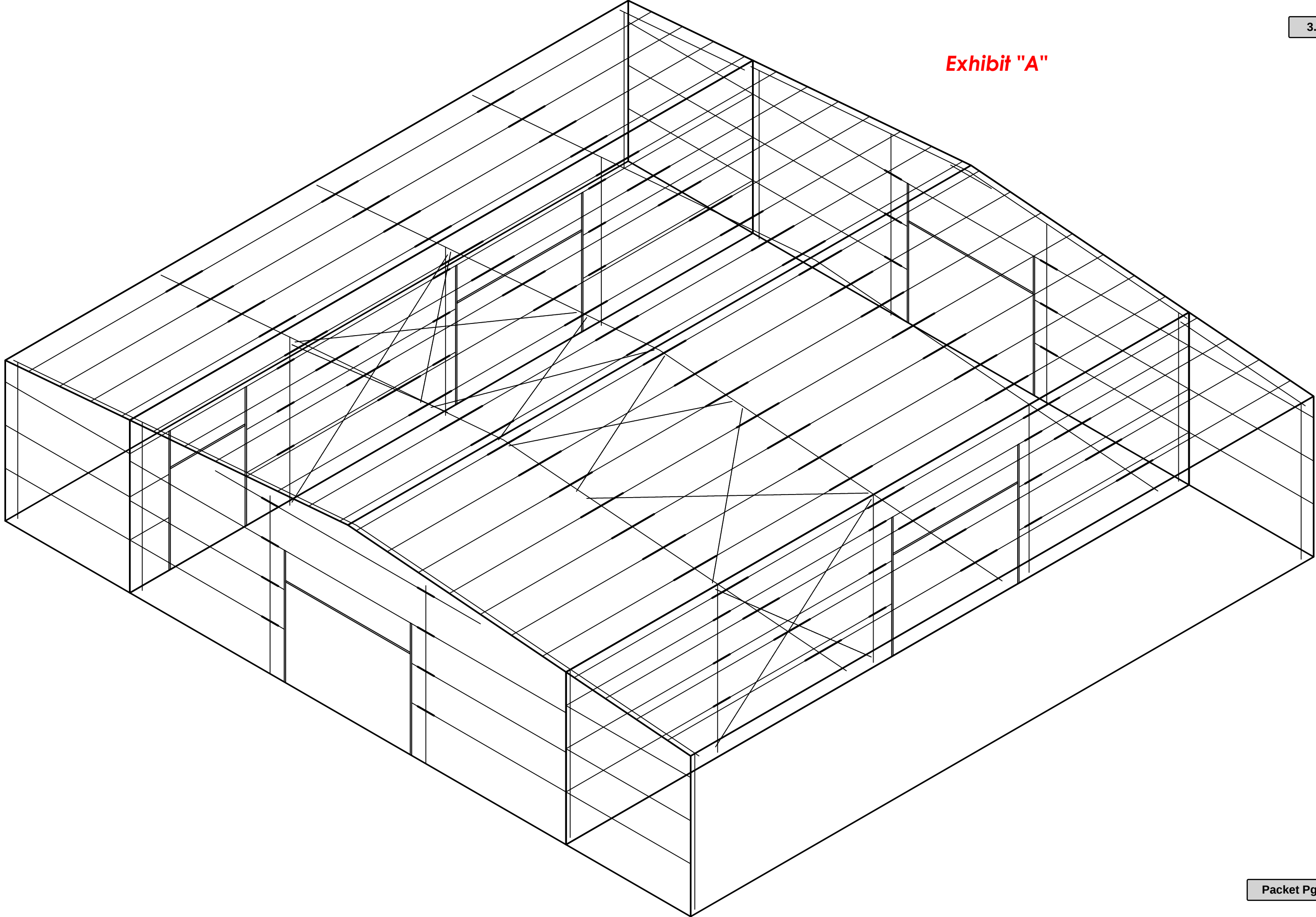
FILE: 4/27/2023 9:27 AM
PRIMARY COVERSHEET DRAWING

NUMBER: 101076

Packet Pg. 18

Attachment: Exhibit "A" Written Narrative and Building Plans (9145 : Laurel Ag and Water Repair and Machine Shop)

Exhibit "A"



KEY PLAN

BSW CANOPY

LAUREL AG WAREHOUSE

FSW CANOPY

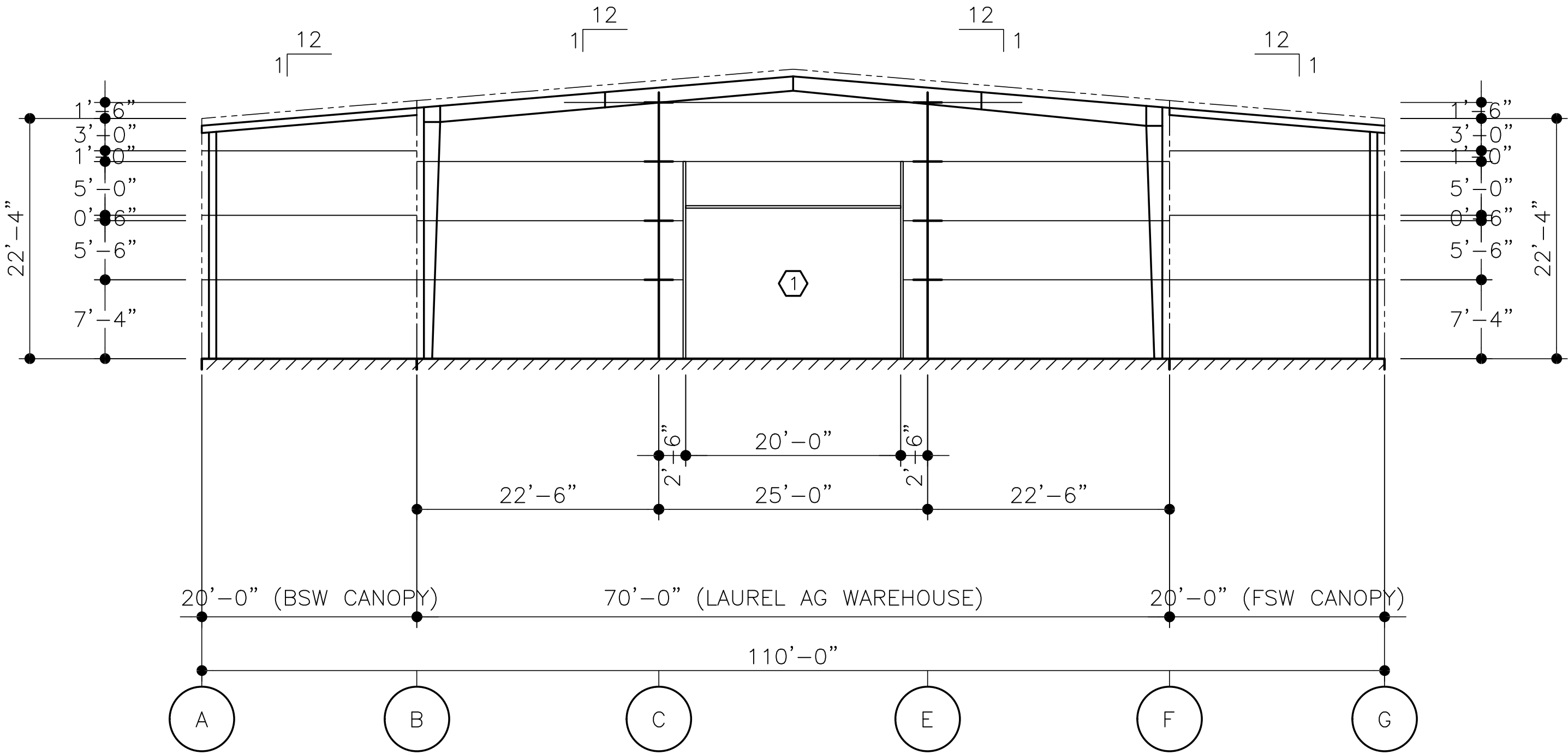
FRAMED OPENING SCHEDULE

(D)	QTY	WIDTH	HEIGHT	SILL HEIGHT	LOCATED
1	1	20'-0"	14'-0"	0'-0"	FACTORY

3.1.b



Project Name: LAUREL AG - WAREHOUSE
Customer Name: COLUSA, CA
I AND X CONSTRUCTION INC
4/27/2023 9:27 AM
PRIMARY STRUCTURAL ELEVATIONS
LOT NUMBER: 101076
Attachment: Exhibit "A" Written Narrative and Building Plans (9145 : Laurel Ag and Water Repair and Machine Shop)



ELEVATION AT LINE 1

NOT USE FOR FINAL CONSTRUCTION

PROJECT NAME:

LAUREL AG - WAREHOUSE

CUSTOMER NAME:

COLUSA, CA

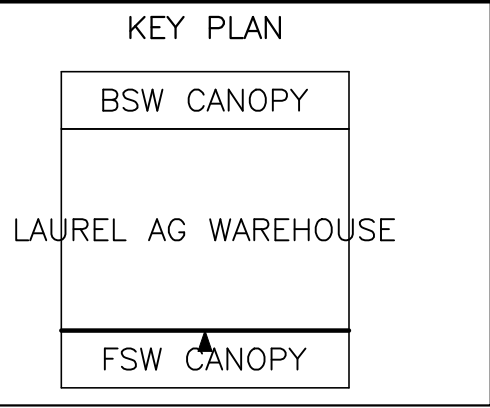
CUSTOMER NAME:

I AND X CONSTRUCTION INC

FILE: 4/27/2023 9:27 AM

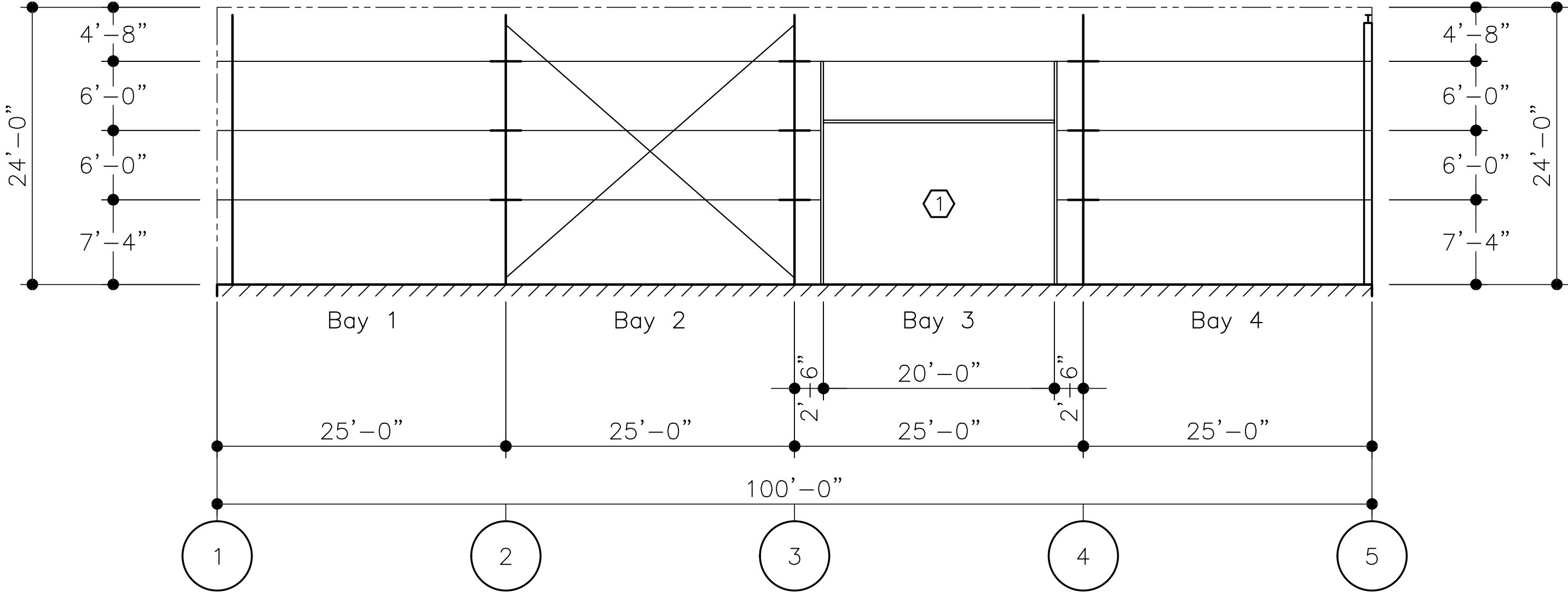
PRIMARY STRUCTURAL ELEVATIONS

LOT NUMBER: 101076



FRAMED OPENING SCHEDULE					
ID	QTY	WIDTH	HEIGHT	SILL HEIGHT	LOCATED
1	1	20'-0"	14'-0"	0'-0"	FACTORY

Exhibit "A"



ELEVATION AT LINE F

3.1.b



STEEL BUILDINGS
A TRUSSFORM BRAND



Drawing Generated By

PROJECT NAME:
LAUREL AG – WAREHOUSE
COLUSA, CA

CUSTOMER NAME:
LAND X CONSTRUCTION INC

NOT USE FOR FINAL CONSTRUCTION

FILE:
4/27/2023 9:27 AM

PRIMARY STRUCTURAL ELEVATIONS

NUMBER:
101076 NUMBER:

Attachment: Exhibit "A" Written Narrative and Building Plans (9145 : Laurel Ag and Water Repair and Machine Shop)

S

Packet Pg. 22

KEY PLAN

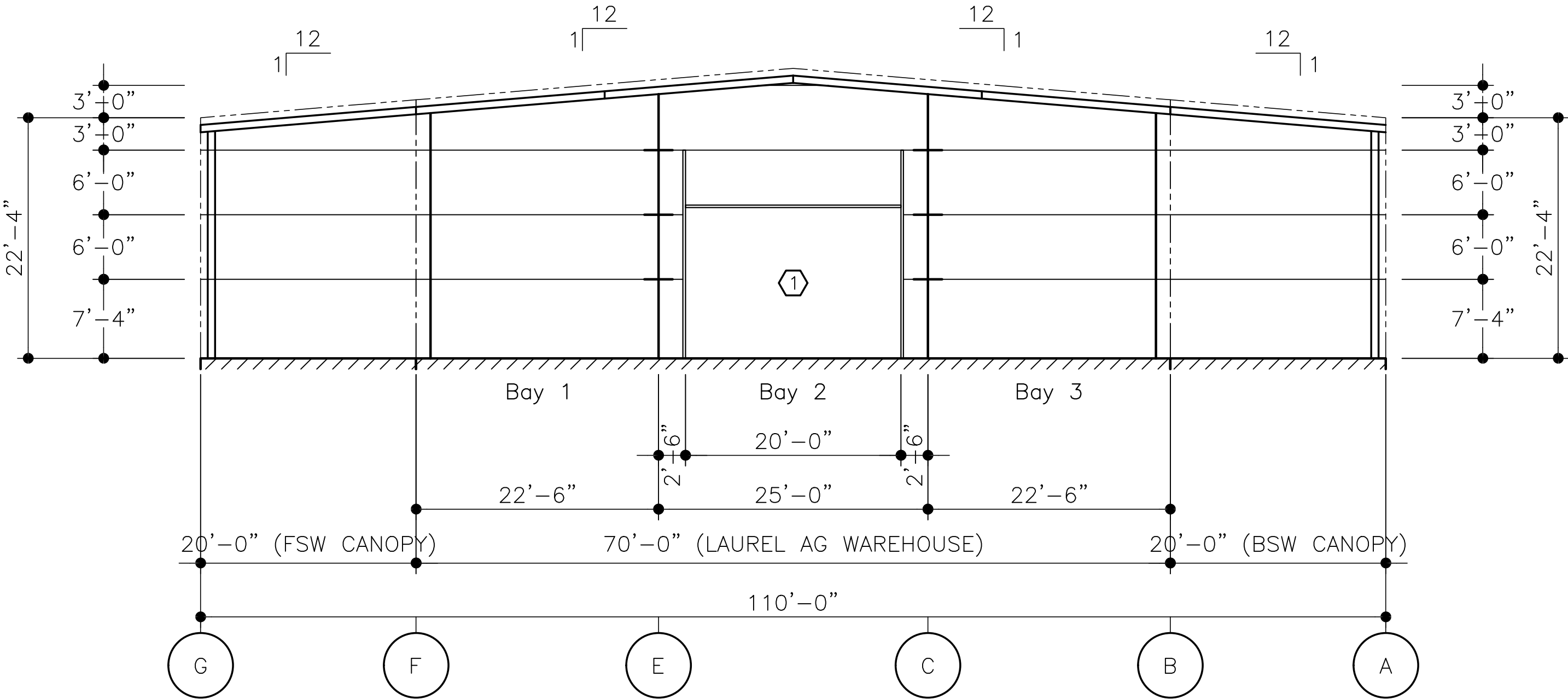
BSW CANOPY

LAUREL AG WAREHOUSE

FSW CANOPY

FRAMED OPENING SCHEDULE					
(D)	QTY	WIDTH	HEIGHT	SILL HEIGHT	LOCATED
1	1	20'-0"	14'-0"	0'-0"	FACTORY

Exhibit "A"



ELEVATION AT LINE 5

3.1.b

STEEL BUILDINGS
A TRULIER BRAND

Drawing Generated By

PROJECT NAME:
LAUREL AG – WAREHOUSE
COLUSA, CA

CUSTOMER NAME:
I AND X CONSTRUCTION INC

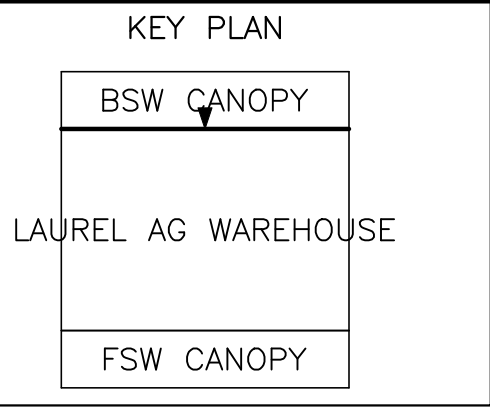
NOT USE FOR FINAL CONSTRUCTION

FILE:
4/27/2023 9:27 AM
PRIMARY STRUCTURAL ELEVATIONS

NUMBER:
101076 NUMBER:

Attachment: Exhibit "A" Written Narrative and Building Plans (9145 : Laurel Ag and Water Repair and Machine Shop)

Packet Pg. 23

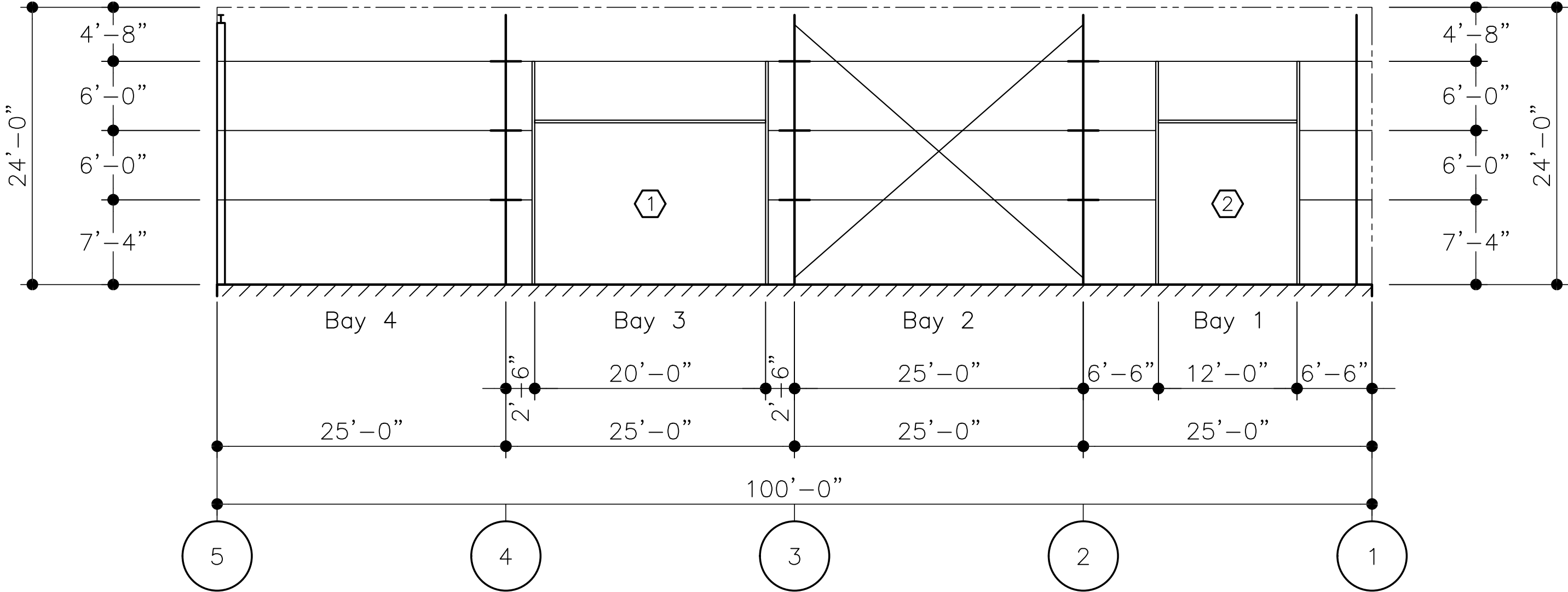


FRAMED OPENING SCHEDULE					
ID	QTY	WIDTH	HEIGHT	SILL HEIGHT	LOCATED
1	1	20'-0"	14'-0"	0'-0"	FACTORY
2	1	12'-0"	14'-0"	0'-0"	FACTORY

3.1.b



Drawing Generated By: [Redacted]



ELEVATION AT LINE B

NOT USE FOR FINAL CONSTRUCTION

DATE: 4/27/2023 9:27 AM

PROJECT NAME: LAUREL AG - WAREHOUSE

CUSTOMER NAME: I AND X CONSTRUCTION INC

PROJECT LOCATION: COLUSA, CA

ATTACHMENT: Exhibit "A" Written Narrative and Building Plans (9145 : Laurel Ag and Water Repair and Machine Shop)

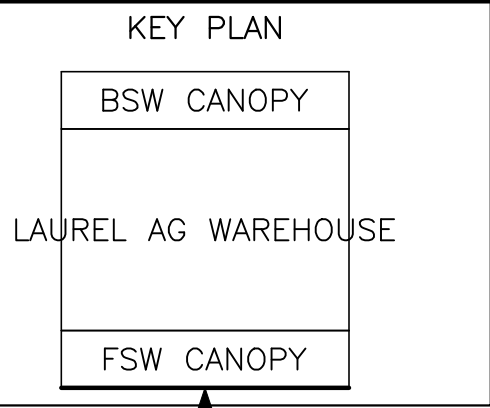
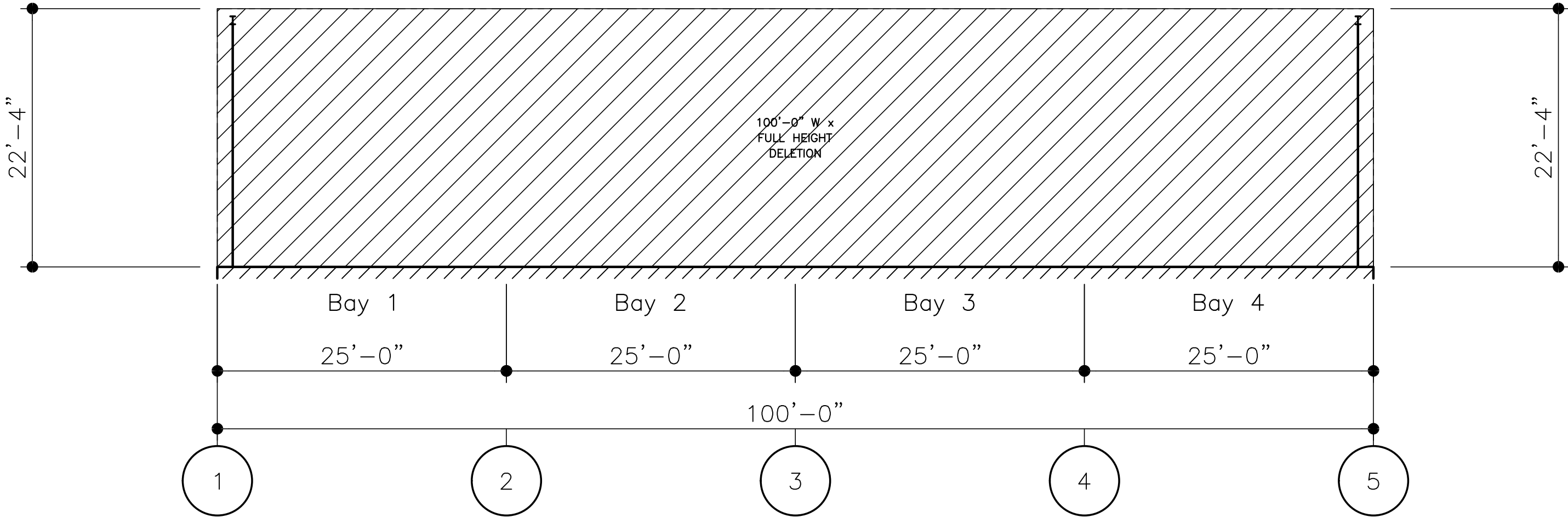


Exhibit "A"



ELEVATION AT LINE G

Steel Buildings

A TRULIO® BRAND

CSB

STEEL BUILDINGS

A TRULIO® BRAND

CSB

STEEL BUILDINGS

A TRULIO® BRAND

CSB

STEEL BUILDINGS

A TRULIO® BRAND

PROJECT NAME:

LAUREL AG – WAREHOUSE

CUSTOMER NAME:

COLUSA, CA

PROJECT NAME:

LAUREL AG – WAREHOUSE

CUSTOMER NAME:

COLUSA, CA

NOT USE FOR FINAL CONSTRUCTION

4/27/2023 9:27 AM

PRELIMINARY STRUCTURAL ELEVATIONS

10/10/2023 9:27 AM

ATTACHMENT: Exhibit "A" Written Narrative and Building Plans (9145 : Laurel Ag and Water Repair and Machine Shop)

ST

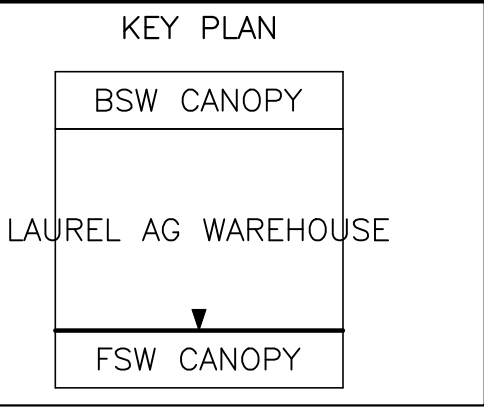
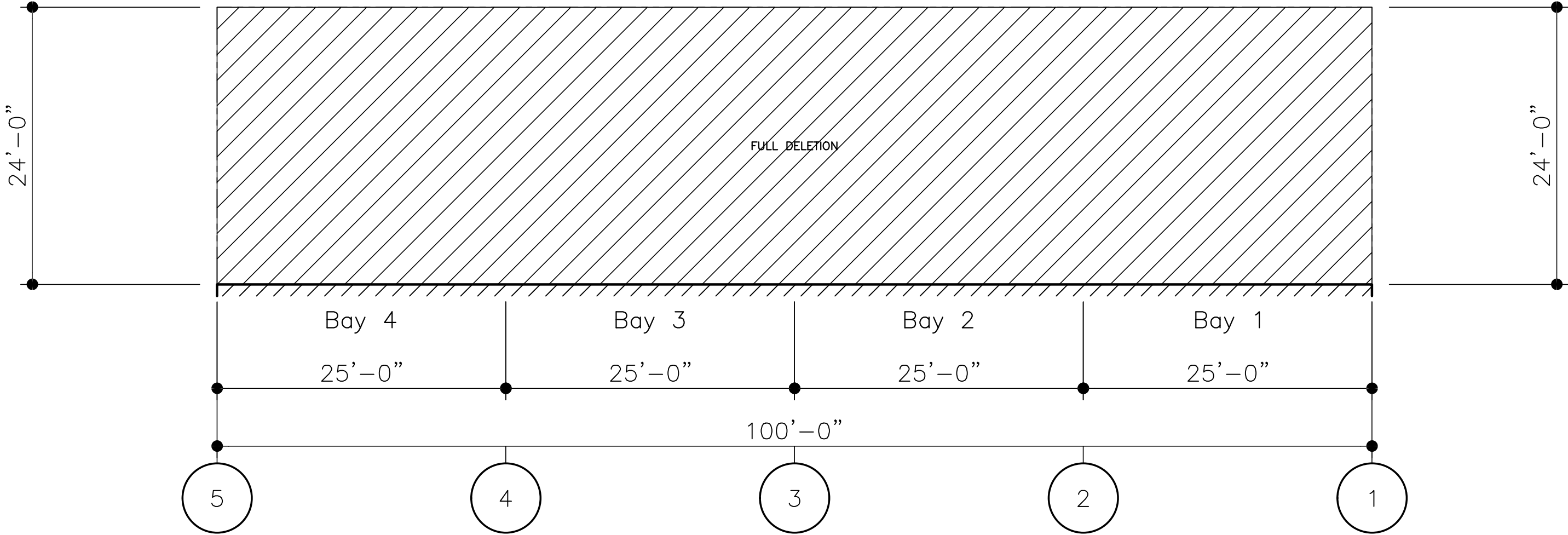
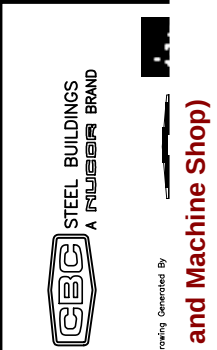


Exhibit "A"



ELEVATION AT LINE F



PROJECT NAME:
LAUREL AG – WAREHOUSE
COLUSA, CA

CUSTOMER NAME:
I AND X CONSTRUCTION INC

NOT USE FOR FINAL CONSTRUCTION

FILE: 4/27/2023 9:27 AM

PRIMARY STRUCTURAL ELEVATIONS

NUMBER: 101076 NUMBER:

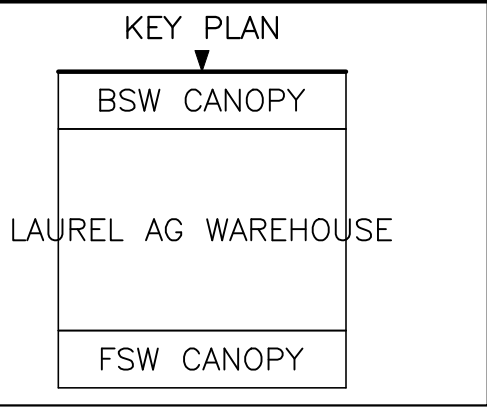
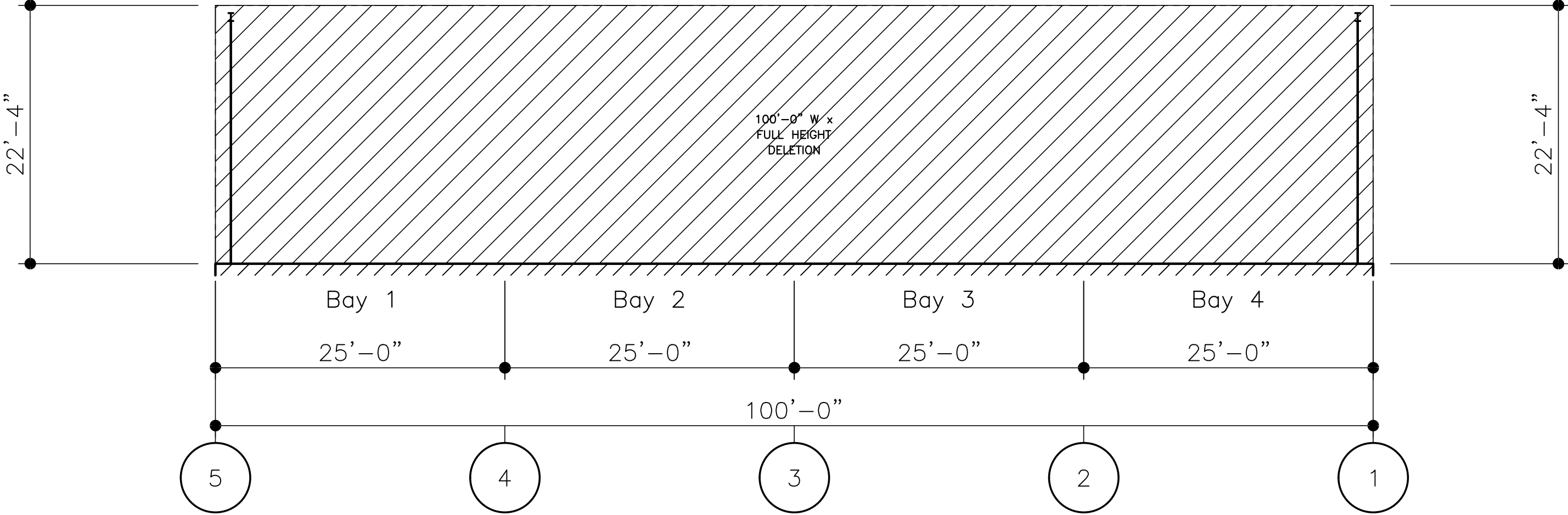
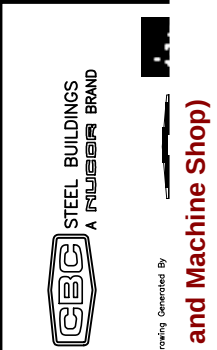


Exhibit "A"



ELEVATION AT LINE A



PROJECT NAME:
LAUREL AG – WAREHOUSE
COLUSA, CA

CUSTOMER NAME:
I AND X CONSTRUCTION INC

Attachment: Exhibit "A" Written Narrative and Building Plans (9145 : Laurel Ag and Water Repair and Machine Shop)

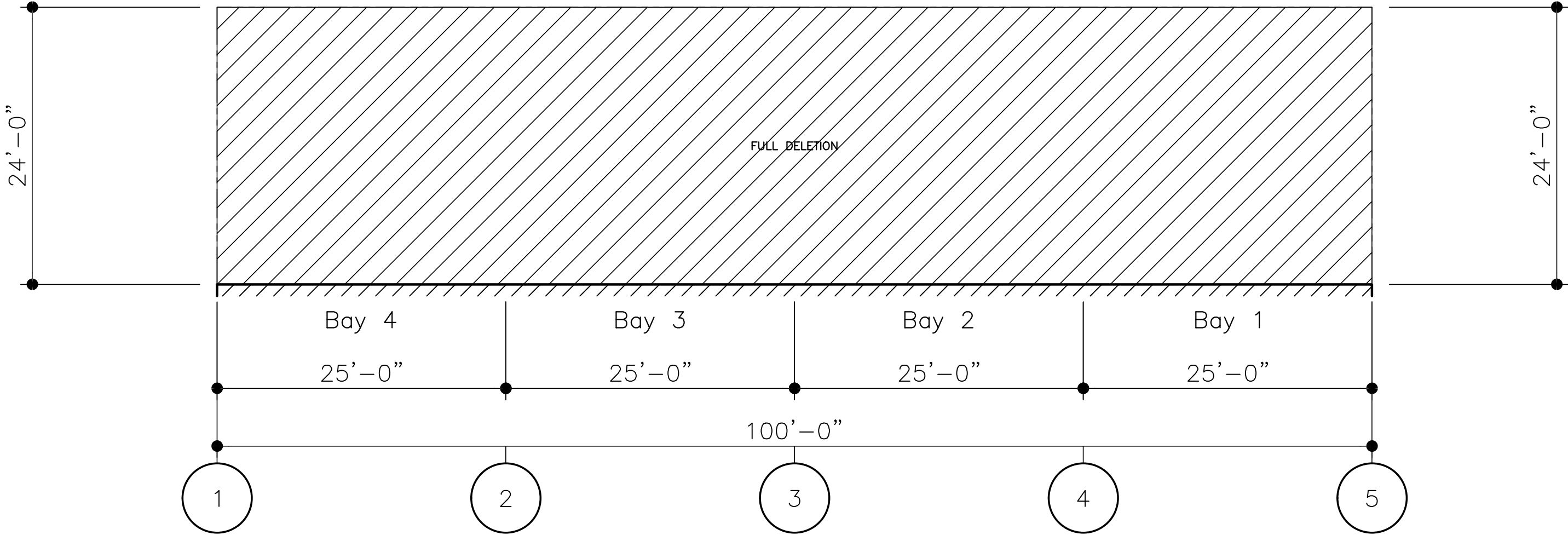
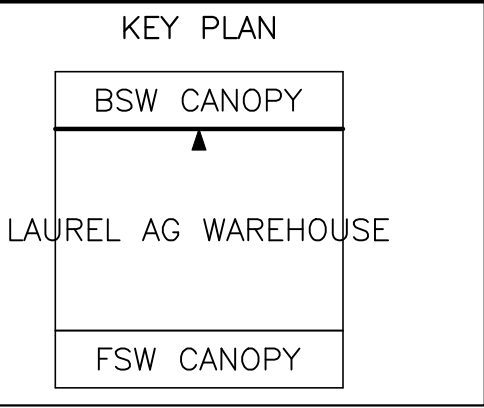
NOT USE FOR FINAL CONSTRUCTION

FILE: 4/27/2023 9:27 AM

PRELIMINARY STRUCTURAL ELEVATIONS

NUMBER: 101016 NUMBER:

ST



ELEVATION AT LINE B

Exhibit "A"

3.1.b



STEEL BUILDINGS
A TRUSS BRAND



Drawing Generated By

PROJECT NAME:
LAUREL AG – WAREHOUSE
COLUSA, CA

CUSTOMER NAME:
I AND X CONSTRUCTION INC

NOT USE FOR FINAL CONSTRUCTION

FILE:
4/27/2023 9:27 AM

PRELIMINARY STRUCTURAL ELEVATIONS

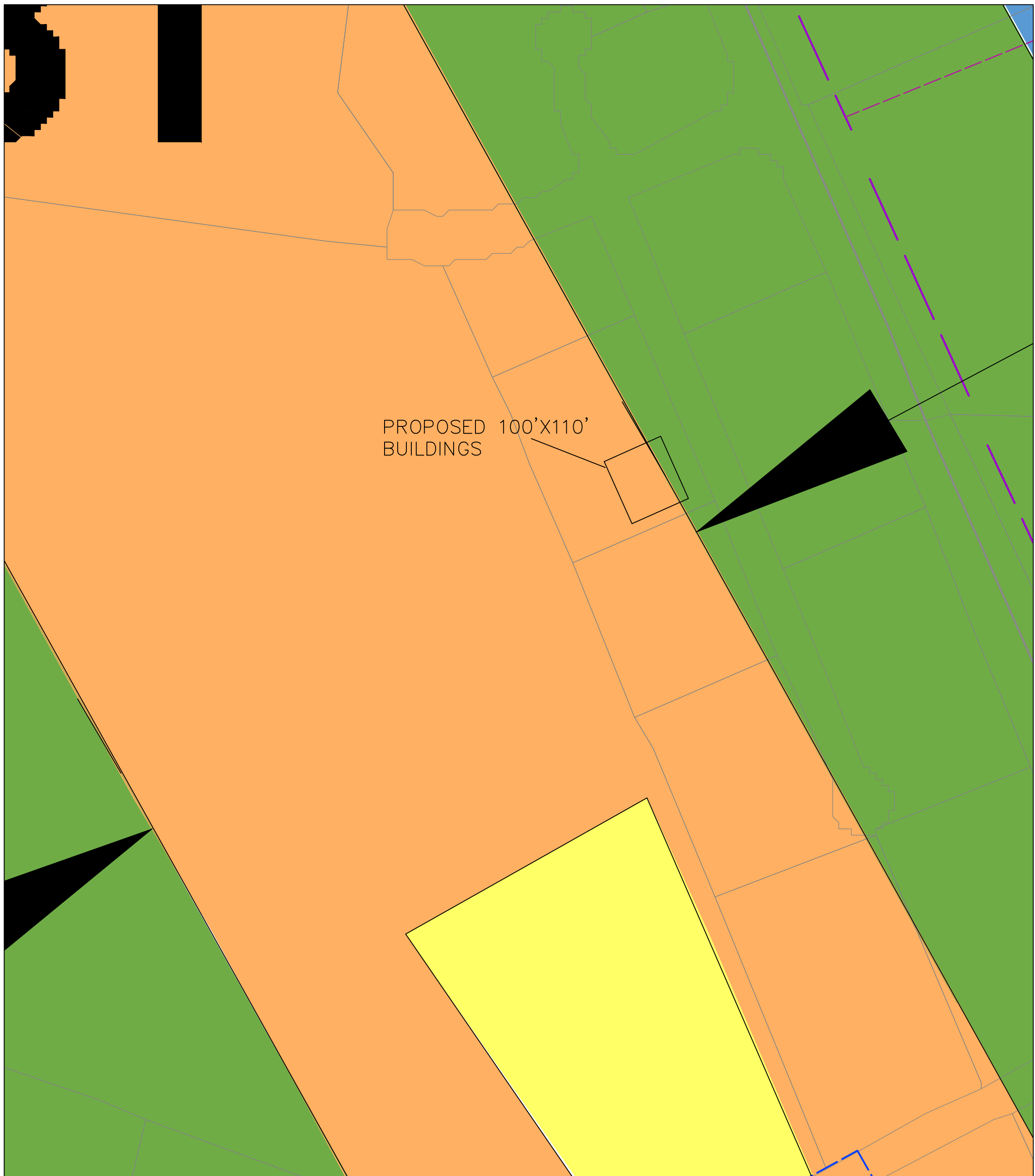
NUMBER:
1010101

ST

Attachment: Exhibit "A" Written Narrative and Building Plans (9145 : Laurel Ag and Water Repair and Machine Shop)

Packet Pg. 28

Attachment #1

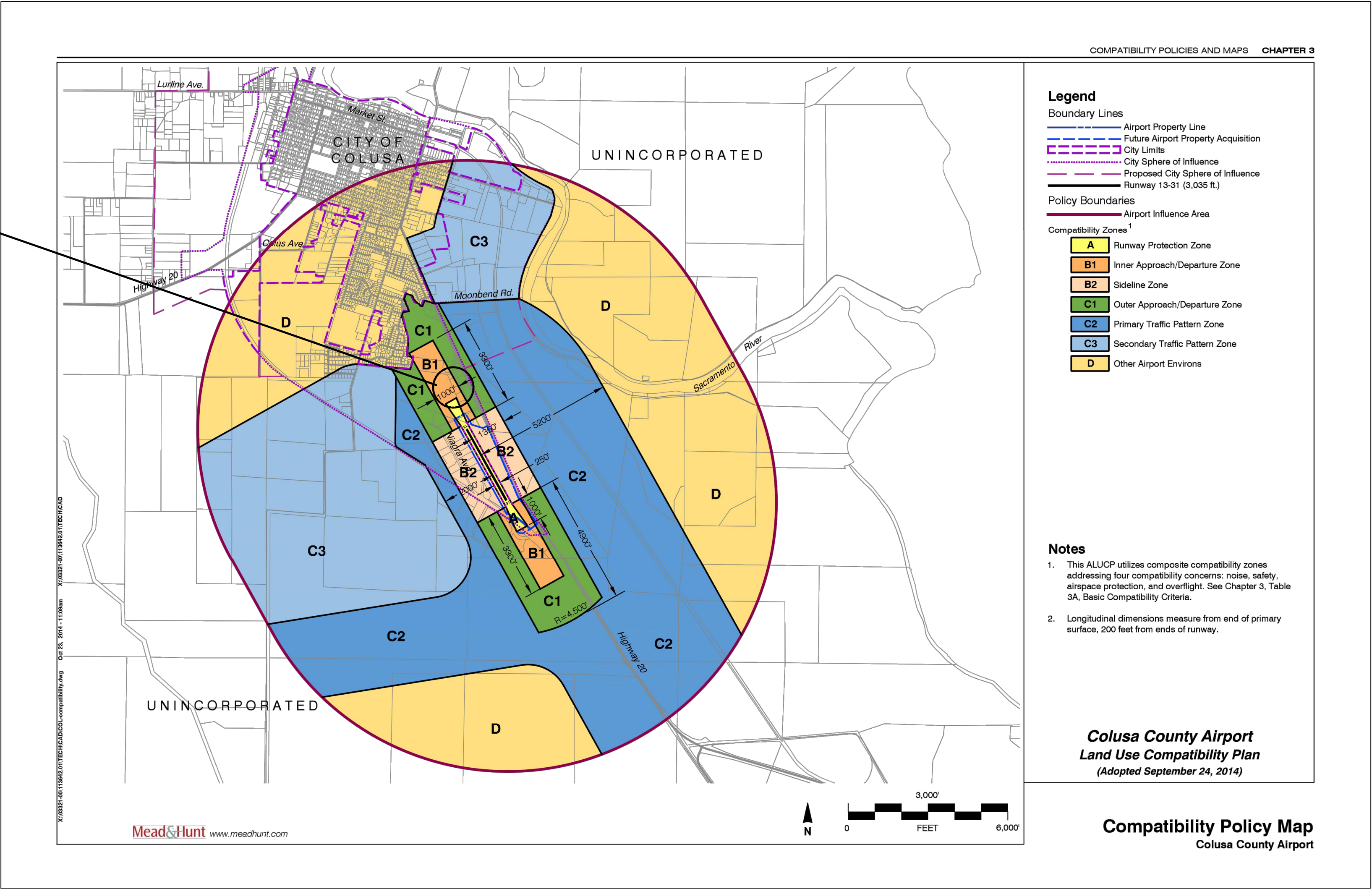


PROPOSED 100'X110' BUILDINGS

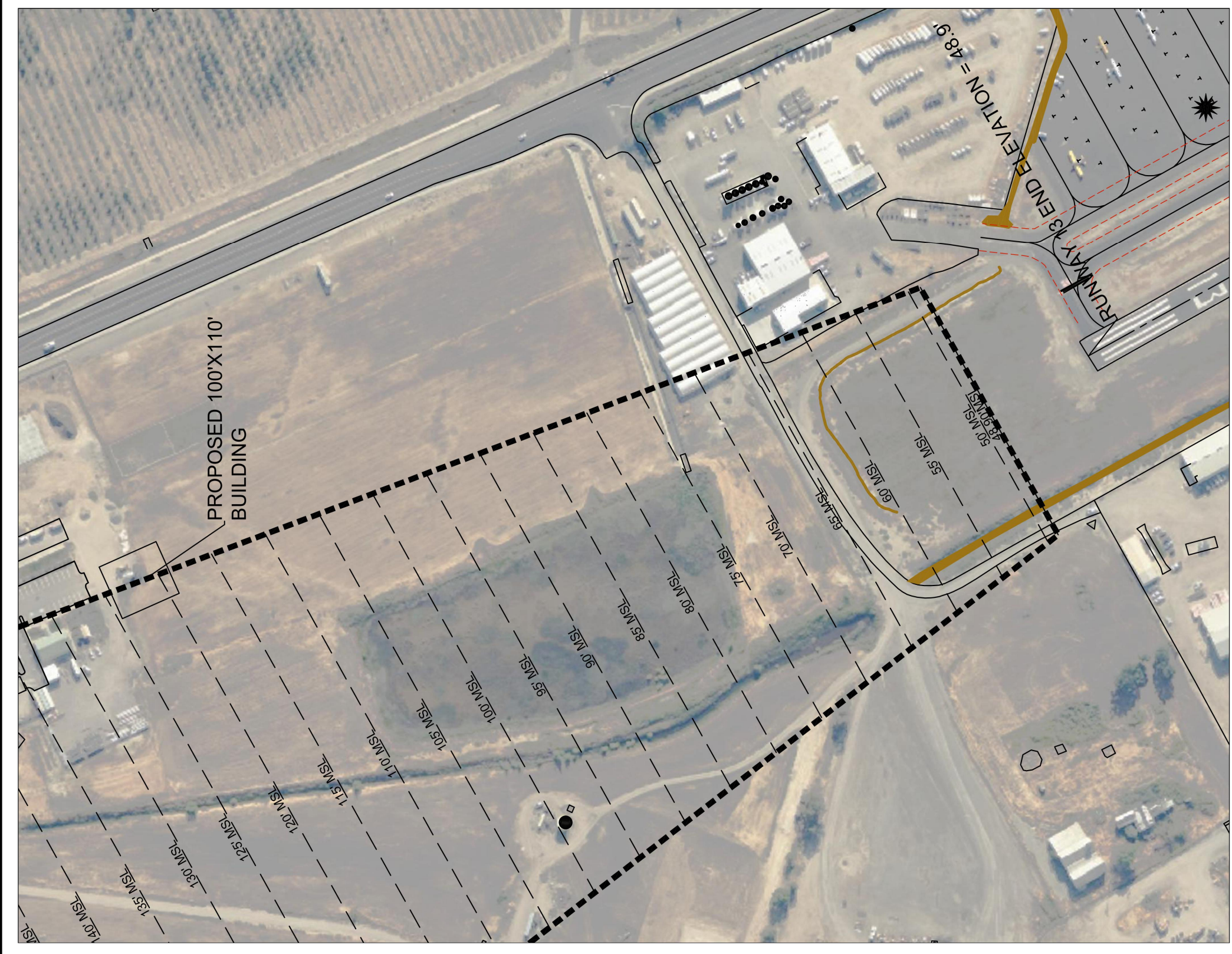
DETAIL
NTS

NOTE:
1- THE 100'X110' NEW STRUCTURE IS IN ZONES B1AND C1 OF THE COLUSA COUNTY AIRPORT LAND USE COMPATIBILITY PLAN.

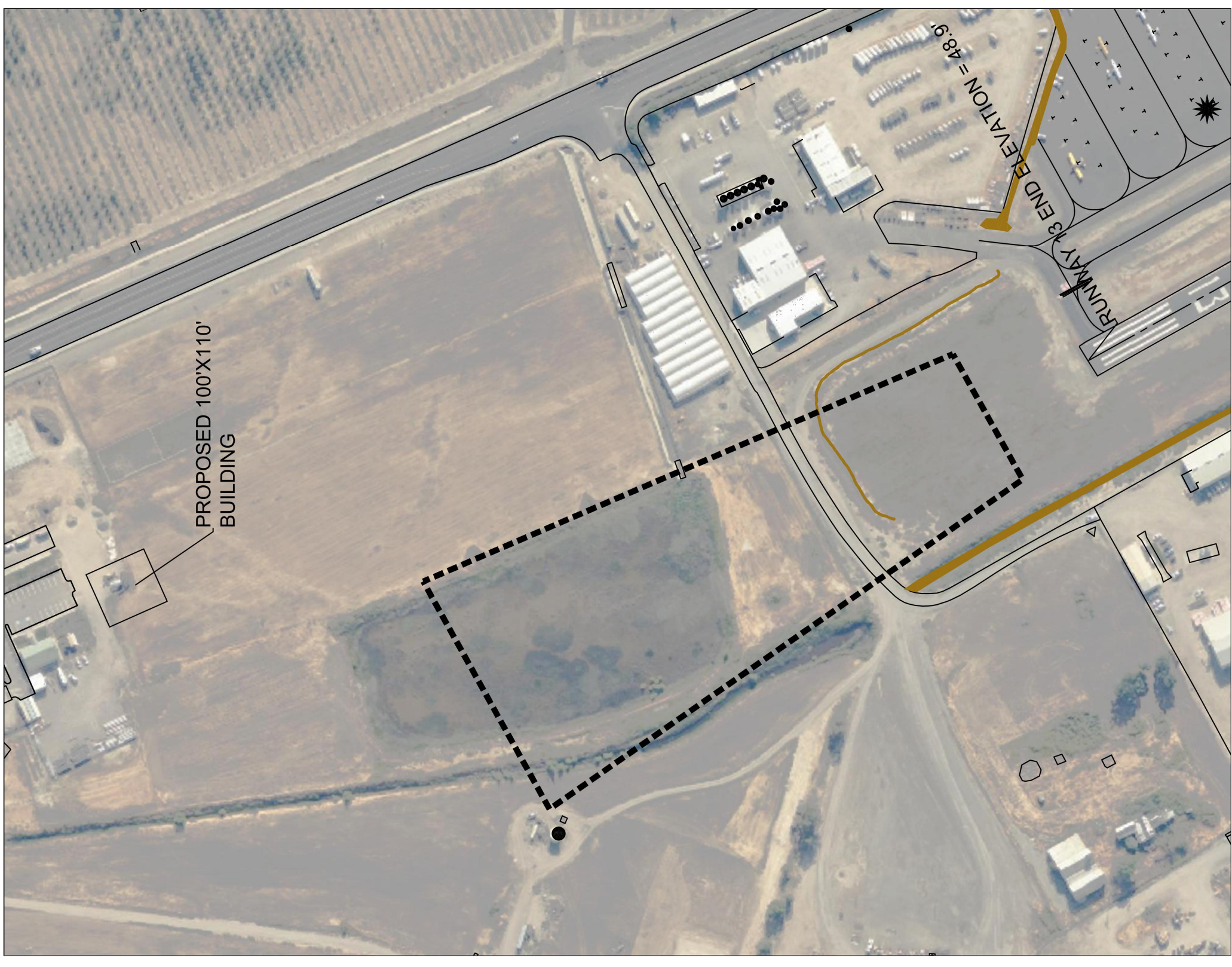
SEE DETAIL



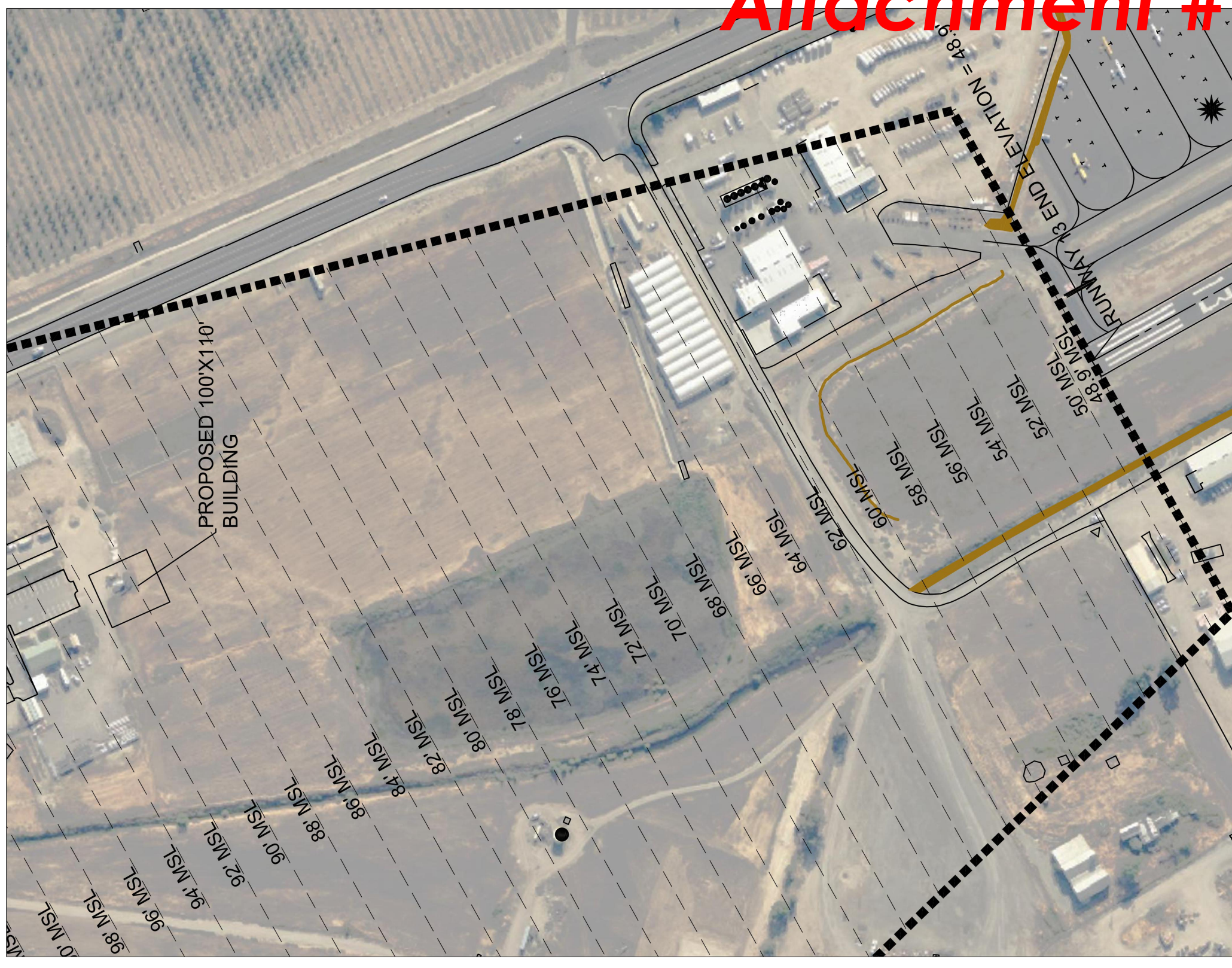
NYES		
LAUREL-AG NEW BUILDINGS		
PLOT PLAN		
NYES 1547 STARR DRIVE SUITE "J" YUBA CITY, CA 95993 (530) 713-0417	DESIGNED BY: GEORGE MUSALLAM	DWG NO.: 1
	DRAWN BY: RCM	SHT. NO.: P-1
	CHECKED BY: GEORGE MUSALLAM	
	JOB NO.: FILE NAME: NA	



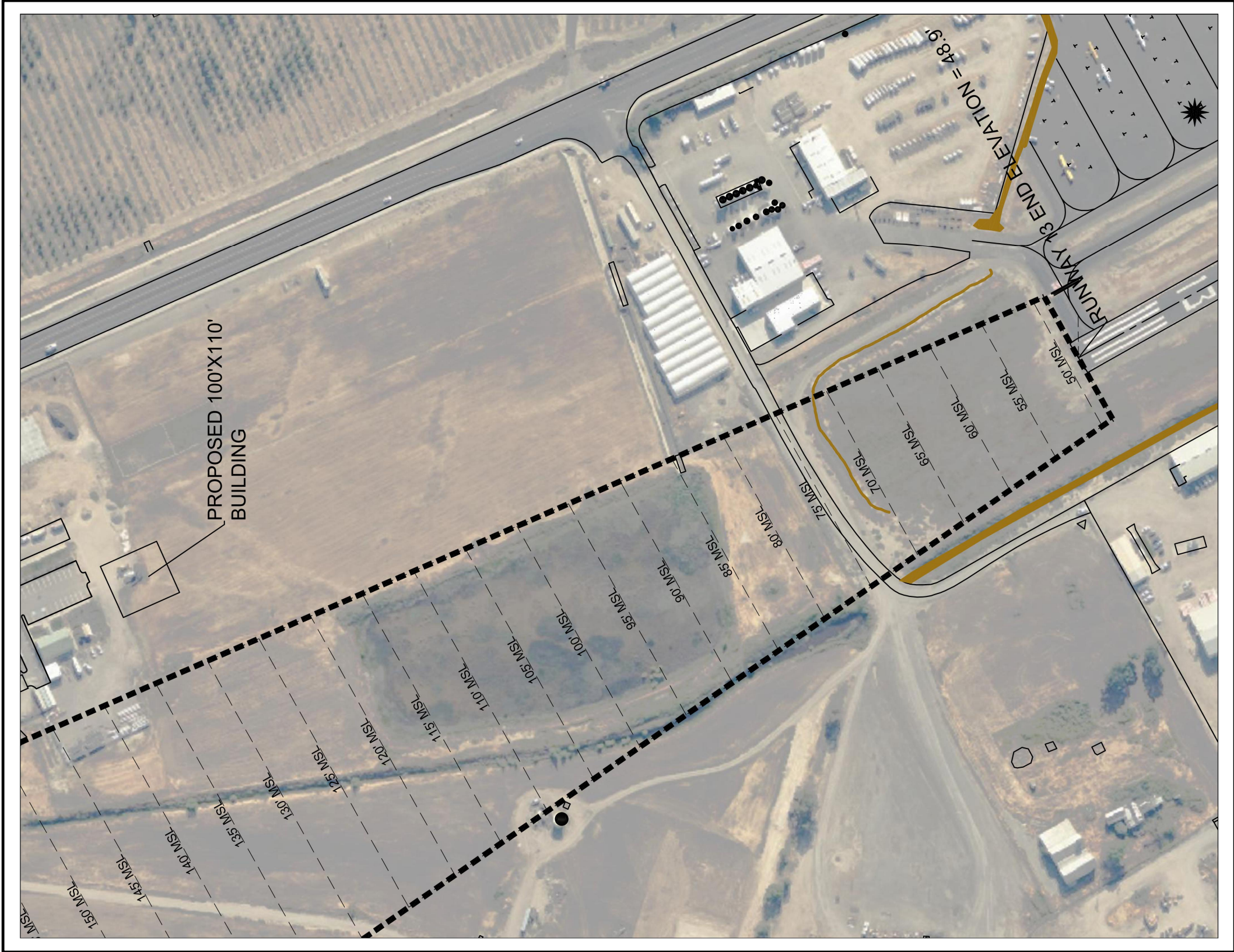
PART 77 APPROACH SURFACE (20:1)
1"=200'



RUNWAY PROTECTION ZONE
1"=200'



DEPARTURE SURFACE (40:1)
1"=200'



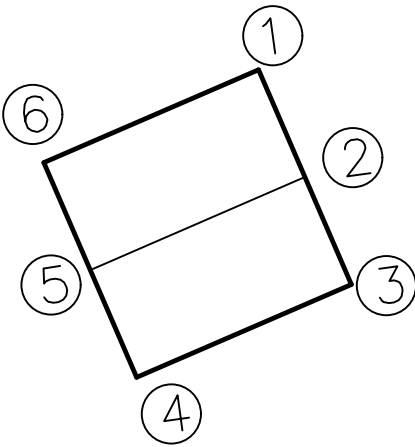
THRESHOLD SIGHTING SURFACE (20:1)
1"=200'

NEW METAL BUILDING

DIMENSIONS: 100'X110'
HIGHEST POINT OF ROOF ABOVE FINISHED FLOOR=26.08'
ELEVATION OF FINISHED FLOOR=51.00'
ELEVATION OF HIGHEST POINT ON ROOF= 51.00'+26.08'=77.08'
ELEVATION OF PART 77 20:1 APPROACH SURFACE AT BUILDING=122.72'; HIGHEST POINT OF BUILDING IS 4612' BELOW THIS SURFACE
ELEVATION OF THRESHOLD SIGHTING SURFACE AT BUILDING=(BUILDING OUTSIDE IMPACT AREA)
ELEVATION OF 40:1 DEPARTURE SURFACE AT BUILDING=90.31', HIGHEST POINT OF BUILDING IS 13.23' BELOW THIS SURFACE
BUILDING IS OUTSIDE THE LIMITS OF THE RUNWAY PROTECTION ZONE.

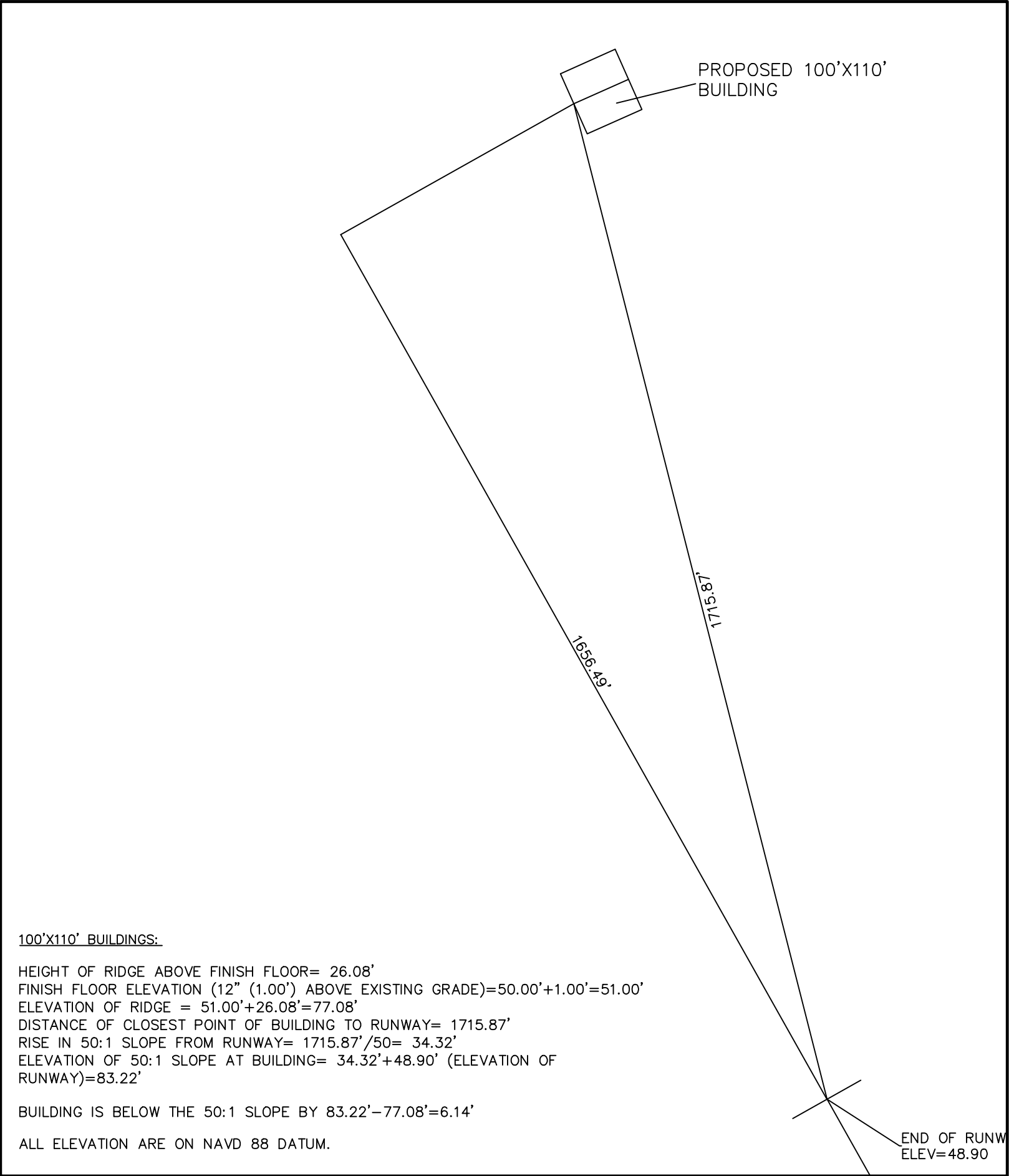
BUILDING CORNERS COORDINATES (NAD 83)

CORNER NO.	LATITUDE	LONGITUDE
1	W121° 59' 50.13"	N39° 11' 14.77"
2	W121° 59' 49.84"	N39° 11' 14.27"
3	W121° 59' 49.56"	N39° 11' 13.78"
4	W121° 59' 50.72"	N39° 11' 13.37"
5	W121° 59' 51.00"	N39° 11' 13.87"
6	W121° 59' 51.29"	N39° 11' 14.37"



100'X110' BUILDINGS
N.T.S.

- NOTES:
- 1- THE DIAGRAMS AND INFORMATION SHOWN HEREIN ARE BASED ON A FIELD SURVEY COMPLETED MAY 2023. NVES HAS NOT EVALUATED THE PROPOSED NEW CONSTRUCTION TO DETERMINE COMPLIANCE WITH THE COLUSA COUNTY LAND USE COMPATIBILITY PLAN AND THE SUBMITTAL OF THESE CALCULATIONS ARE SUBMITTED FOR INFORMATION ONLY. COMPLIANCE EVALUATION NEEDS TO BE DONE BY OTHERS.
 - 2-BENCH MARK USED IS AN NGS MONUMENT SET AT CONCRETE HEADWALL LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF FARINON ROAD AND STATE HIGHWAY 20 WITH SET ELEVATION OF 48.7' NAVD 88 DATUM.
 - 3- SIZE AND HEIGHT OF BUILDINGS WERE PROVIDED BY LANDX, GENERAL BUILDING CONTRACTOR.



50:1 SLOPE EVALUATION
1"=200'



NVES			
LAUREL-AG NEW BUILDINGS			
ANALYSIS			
DESIGNED BY: GEORGE MUSALLAM	DWG. NO.:	2	
DRAWN BY: RANA MOORE			
CHECKED BY: GEORGE MUSALLAM	SHT. NO.:	P-2	
JOB NO.:			
FILE NAME: NA			

NVES
1547 STARR DRIVE SUITE "J"
YUBA CITY, CA 95993
(530) 713-0417